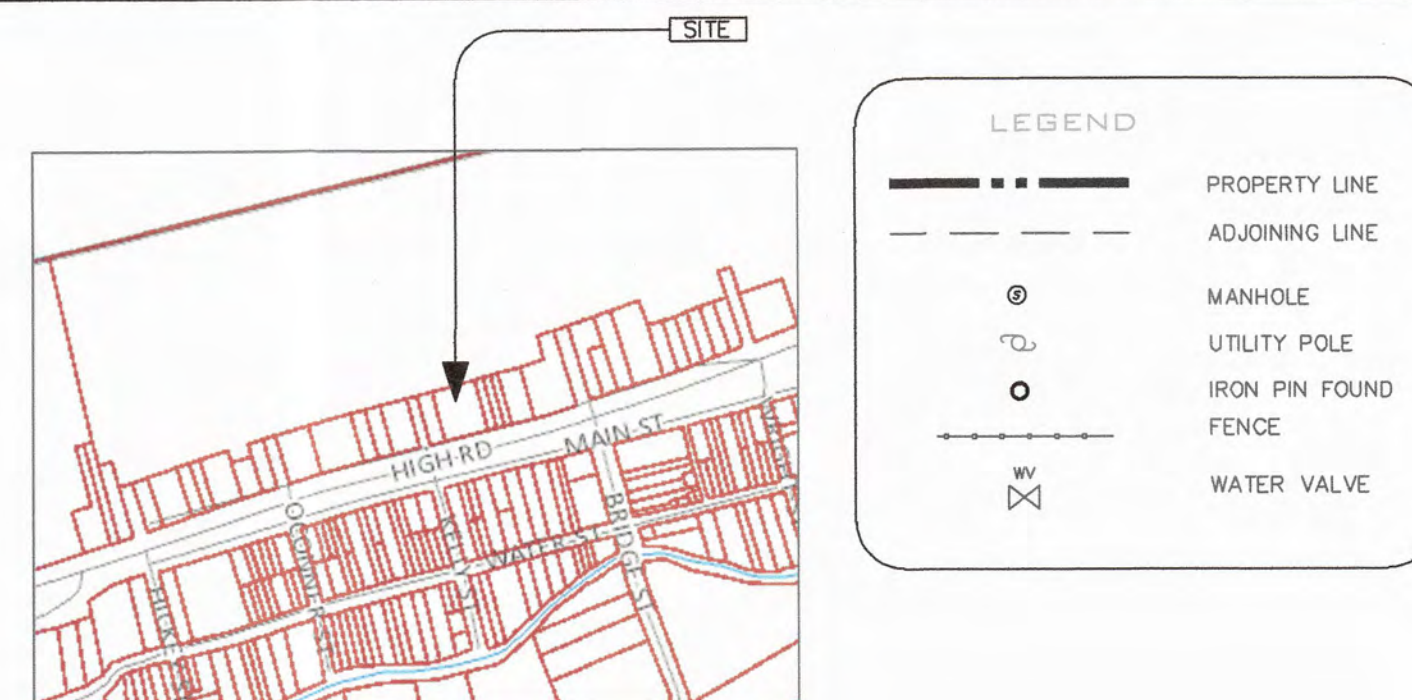


LOCATION MAP
SCALE: 1 INCH = 1,000 FEET



TRACT MAP
SCALE: 1 INCH = 500 FEET

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO CREATE ONE R-3 PARCEL IDENTIFIED AS PARCEL 1. THE PARCEL IS NOT FOR DEVELOPMENT AT THIS TIME.
2. UPI# 44-04-0003.000 IS TO BE ANNEXED TO UPI# 44-04-0004.000 TO CREATE PARCEL 1.
3. THE BASIS OF BEARING FOR THIS SURVEY COMPASS NOVEMBER 1, 2021
4. THIS SURVEY AND CERTIFICATION IS BASED ON CURRENT DEEDS OF RECORD AS REFERENCED BY EXISTING TAX MAPS. THE SURVEYOR HAS NOT BEEN SUPPLIED WITH A COPY OF A TITLE REPORT OR SEARCH. THEREFORE, RELEVANT TITLE ISSUES MAY NOT BE DISCLOSED, HEREON.
5. ALL PHYSICAL FEATURES AS SHOWN ON THIS PLAN ARE NOT SURVEYED WITH THE SAME DEGREE OF ACCURACY AS THE BOUNDARY LINES, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE.
6. AT THIS TIME THERE IS NO PROPOSED EARTH DISTURBANCE. THEREFORE THIS SUBDIVISION IS EXEMPT FROM BOTH AN EROSION & SEDIMENTATION CONTROL PLAN AND ALSO A STORMWATER MANAGEMENT PLAN.
7. THERE ARE NO KNOWN SIGNIFICANT HISTORICAL AND/OR CULTURAL FEATURES SUCH AS CEMETERIES, BURIAL SITES, ARCHAEOLOGICAL SITES, HISTORIC BUILDINGS, STRUCTURES, PLAQUES, MARKERS, OR MONUMENTS WITHIN THE AREA OF THIS SITE.
8. POTENTIAL EXISTS FOR UNSTABLE GEOLOGIC OR SUBSURFACE CONDITIONS DUE TO THE PROJECT'S PROXIMITY TO KNOWN MINE LOCATIONS. NO KNOWN ISSUES HAVE PRESENTED THEMSELVES IN THE PROJECT AREA THAT ARE EXPECTED TO IMPACT THE PROJECT.
9. A PHASE I ENVIRONMENTAL INVESTIGATION HAS NOT BEEN COMPLETED AS NO KNOWN ISSUES WITH QUARRY, MINES, SOIL WASTE AREAS, ILLICIT DUMPS, EPA SUPERFUND SITES OR ANY OTHER POTENTIALLY HAZARDOUS CONDITIONS ARE PRESENT.
10. ANY FUTURE LOT PURCHASERS SHALL BE MADE AWARE OF THE EXENT OF ANY PREVIOUS UNDERGROUND MINING ACTIVITIES. APPROVAL OF THIS PLAN BY SCHUYLKILL COUNTY DOES NOT GUARANTEE STRUCTURAL PROTECTION FROM MINE SUBSIDENCE.
11. NO DEDICATION TO GILBERTON BOROUGH OF ANY PROPERTY IS PROPOSED.
12. BASED ON A REVIEW OF THE NATIONAL WETLANDS INVENTORY MAPPING, THERE APPEARS TO BE NO WETLANDS ON THIS SITE. NO SITE SURVEYS WERE DONE TO DETERMINE THE PRESENCE OF WETLANDS ON THIS SITE.
13. BASED ON A REVIEW OF THE FEMA FLOOD INSURANCE RATE MAPPING, THE PROJECT LIES OUTSIDE THE 100 YEAR FLOOD PLAIN. NO SITE SURVEY WAS DONE TO DETERMINE THE LOCATION OF ANY FLOOD BOUNDARIES.
14. THE WATER AND SEWER LINES SHOWN WERE ESTABLISHED BY EXTENDING EXISTING MANHOLE AND VALVE, THEREFORE THERE LOCATION IS APPROXIMATE.

SITE DATA

NO. OF PARCELS 2
ZONING CLASSIFICATION R-3
AREA OF PARENT TRACTS 8,690 SF, 1,800 SF
TOTAL AREA OF SUBDIVISION 10,490 SF, 0.24 ACRES
SEWAGE MUNICIPAL (EXISTING IN STREET)
WATER MUNICIPAL (EXISTING IN STREET)
DEED REFERENCES DB 2738 FC 731
DB 2737 FC 735
TAX I.D. NOS. 44-04-0004.000
44-04-0003-000

ZONING REQUIREMENTS FOR R-3
RESIDENTIAL- HIGH DENSITY DISTRICT

MIN. LOT AREA (PUBLIC SEWER AND WATER) 2500' S.F.
MIN. LOT WIDTH (PUBLIC SEWER AND WATER) 25'
FRONT BUILDING SETBACK 5'
REAR BUILDING SETBACK 15'
SIDE BUILDING SETBACK 3'
ACCESSORY STRUCTURE SETBACK 3' SIDE/REAR
MAX. BUILDING COVERAGE 75%
MAX. BUILDING HEIGHT 25'

OWNER/SUBDIVIDER

WILLIAM S. DIDYOUNG
SUSAN A. MOYER
2319 HIGH ROAD
MAHANAY PLANE, PA. 17949

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAT SHOWN AND DESCRIBED HEREON AS WELL AS ALL DRAWINGS BEARING MY SEAL ARE TRUE AND CORRECT AS TO ACCURACY AS REQUIRED BY THE COMMISSION AND WERE PREPARED BY ME AND UNDER MY DIRECTION AND FOR WHICH I ACCEPT FULL RESPONSIBILITY, AND THAT THE PERIMETER MONUMENTS HAVE BEEN ACCURATELY PLACED AS REQUIRED.



Robert E. O'Neill, PLS
11-30-21

OWNERS AFFIDAVIT:

COMMONWEALTH OF PENNSYLVANIA

ON THIS, THE 9th DAY OF DECEMBER 2021, BEFORE ME, THE THE UNDERSIGNED OFFICER PERSONALLY APPEARED William S. Didyoung + Susan Moyer WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND CONFIRMS THAT SAID IS THE OWNER (OR EQUITABLE OWNER) OF THE PROPERTY SHOWN ON THIS PLAN.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

Susan Moyer
SIGNATURE

Christine M. Mansell
NOTARY PUBLIC

Commonwealth of Pennsylvania-Notary Seal
Christine M. Mansell, Notary Public
Schuylkill County
My Commission Expires July 05, 2024
Commission Number 1101632

MY COMMISSION EXPIRES 7-5-24

RECORDER OF DEEDS

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ECT. IN SCHUYLKILL COUNTY, IN MAP BOOK , PAGE GIVEN UNDER MY HAND AND SEAL THIS DAY OF , 2021

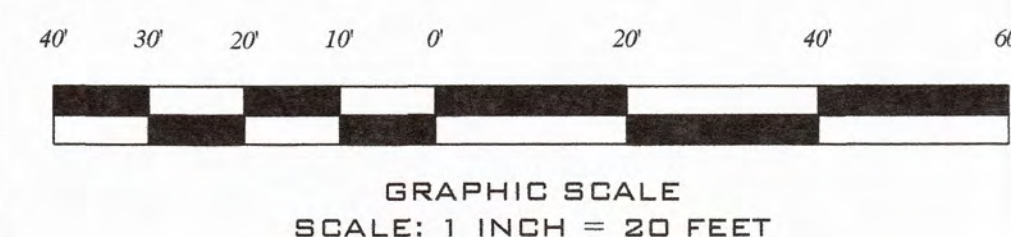
APPROVED BY:
SCHUYLKILL COUNTY
PLANNING COMMISSION

PLANNING DIRECTOR

DATE

UPI
CERTIFICATION

CERTIFICATION OF
PARCEL NUMBERS ONLY
DOES NOT CERTIFY
CONTENTS OF THIS DOCUMENT
SCHUYLKILL COUNTY
TAX ASSESSMENT BUREAU

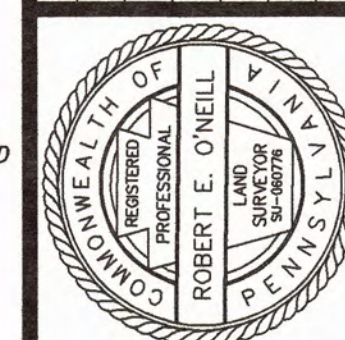


FILE NUMBER:
0035

CHKD BY: R.E.O.

BY: R.E.O.

DATE: 11/30/21
SURVEY FILE:



O'NEILL
SURVEYING LLC
54 CHURCH STREET LOCUST GAP PA
Phone: (610) 284-5767
BOB@ONEILLSURVEYING.COM



FINAL LOT ANNEXATION
PLAN OF LANDS OF
WILLIAM S. DIDYOUNG
SUSAN ASHLEY MOYER
GILBERTON BOROUGH, SCHUYLKILL COUNTY, PA
SCALE: 1 INCH = 20 FEET, NOVEMBER 30, 2021

SHEET
1 OF 1

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH BOROUGH, TOWNSHIP AND COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL OF THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER PRIOR TO BIDDING.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE OWNER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER AND LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORM TRAFFIC CONTROLLERS IN ACCORDANCE WITH PENNDOT MPT SPECIFICATIONS AND/OR AS REQUIRED OR DIRECTED BY THE LANDLORD OR OWNER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM PENNDOT, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- THE CONTRACTOR SHALL NOTIFY THE OWNER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND OTHER DETAILS AS APPLICABLE.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS AND SHALL BE EITHER COLD LAID THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH PennDOT SPECIFICATIONS PUBLICATION 408 AND PennDOT STANDARD DETAILS AS AMENDED UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING, WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOOR STEP LOCATIONS, ETC.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-242-1776 AND VERIFY ALL LOCATIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE ARCHITECT AS REQUIRED FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- PLANS PREPARED UTILIZING DATA FROM SURVEY PREPARED GREGORY C. NOLL OF VALLEY LAND SERVICES, LLC, AT 4383 HECKTOWN ROAD, BETHLEHEM, PA 18020, AND DATED SEPTEMBER 8, 2020.

SITE LOCATION MAP
SCALE: 1"=2,000'

SUBSURFACE COAL REPORT

SEE SUBSURFACE COAL REPORT PREPARED BY ACA ENGINEERING, INC., DATED OCTOBER 18, 2021, REGARDING A HIGH RISK OF SUBSIDENCE AT THE PROJECT SITE, AND GROUTING RECOMMENDATIONS. CONTRACTOR TO INCLUDE COST OF MINE GROUTING IN PROJECT BID.

*PARKING REQUIREMENTS

* REQUIREMENTS PER SCHUYLKILL COUNTY SALDO.

PARKING REQUIREMENTS FOR RETAIL STORE:
PARKING STALL SIZE: 9' x 18' REQUIRED; 9' x 18' PROPOSED. (E. NORWEGIAN TWP./SCHUYLKILL COUNTY)
PARKING STALL SIZE: 9' x 20' REQUIRED; 9' x 20' PROPOSED. (ST. CLAIR BOROUGH)

ONE (1) PARKING STALL PER 200 SQ. FT. OF FLOOR AREA ACCESSIBLE TO CUSTOMERS.

3,296 SF + 200 SF = 17 PARKING STALLS REQUIRED

37 PARKING STALLS PROPOSED
31 STALLS @ 9' x 18' (SCHUYLKILL COUNTY)
6 STALLS @ 9' x 20' (ST. CLAIR BOROUGH)

7,382 SF = TOTAL FLOOR AREA
4,086 SF = MERCHANDISE STORAGE AREA BEHIND COUNTER
3,296 SF = CUSTOMER FLOOR ACCESS AREA

ZONING INFORMATION

BOROUGH OF ST. CLAIR
ZONING DISTRICT: C-2
(GENERAL COMMERCIAL DISTRICT)
RETAIL & WHOLESALE OF GOODS, PREPARED FOODS, AND SERVICES IS A PERMITTED USE WITHIN THIS ZONING DISTRICT.

ZONING INFORMATION WAS OBTAINED FROM:
BOROUGH OF SAINT CLAIR
16 SOUTH THIRD STREET
SAINT CLAIR, PA 17970
(570) 429-0640
ROLAND PRICE

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	10,000 SF	37,581 SF (TOTAL)
MINIMUM LOT WIDTH	50'	220.83'
MINIMUM FRONT YARD SETBACK	20'-0"	83'-4"
MINIMUM SIDE YARD SETBACK	10'-0" EACH SIDE	25'-1"
MINIMUM REAR YARD SETBACK	20'-0"	N/A
MINIMUM PAVED AREA SETBACK	10' 0" ARTERIAL OR COLLECTOR <2 ACRES	4'-11" MIN. 14'-0" MAX.
MAXIMUM BUILDING HEIGHT	35'-0" OR 2.5 STORIES	19'-0"
MAXIMUM BUILDING COVERAGE	35%	N/A
MAXIMUM IMPERVIOUS COVERAGE	35%	N/A
MINIMUM SIGN SETBACK	50% OF FRONT YARD SETBACK = 10'-0"	12'-8"

TOWNSHIP OF EAST NORWEGIAN
ZONING DISTRICT: C-3
(HIGHWAY COMMERCIAL DISTRICT)
A RETAIL STORE IS A PERMITTED USE WITHIN THIS ZONING DISTRICT.

ZONING INFORMATION WAS OBTAINED FROM:
SCHUYLKILL COUNTY PLANNING & ZONING DEPT.
401 NORTH SECOND STREET
POTTSVILLE, PA 17901
(570) 628-1416
ZONING OFFICER

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	10,000 SF	37,581 SF (TOTAL)
MINIMUM LOT WIDTH	75'-0"	220.83'
MINIMUM FRONT YARD SETBACK	35'-0"	80'-2"
MINIMUM SIDE YARD SETBACK	25'-0"	25'-1"
MINIMUM REAR YARD SETBACK	25'-0"	N/A
MINIMUM PAVED AREA SETBACK	10'-0" (20-99 PARKING SPACES)	2'-9" MIN. 7'-7" MAX.
MAXIMUM BUILDING HEIGHT	100'-0"	19'-0"
MAXIMUM BUILDING COVERAGE	60%	19.6%
MAXIMUM IMPERVIOUS COVERAGE	90%	70.8%
MINIMUM SIGN SETBACK	25'-0"	N/A

MDM

SURVEYORS & ENGINEERS, LLC
Surveyors • Engineers • Site Planners
375 Northgate Drive
Warrendale, PA 15086
Ph: (724) 934-2810 Fax: (724) 934-2811
mdmcadd@mdmllc.com
www.mdmllc.com

DEVELOPMENT STATEMENT & SCHEDULE

DEVELOPMENT INCLUDES DEMOLITION OF EXISTING BUILDING AND CAR WASH, CONSTRUCTION OF A 7,382 SF BUILDING, TRASH CORRAL, PARKING INCLUDING HANDICAP ACCESSIBLE SPACES, ASSOCIATED UTILITIES, AND LANDSCAPING IMPROVEMENTS. APPROXIMATE START OF PROJECT IS JUNE 1, 2022 AND APPROXIMATE COMPLETION BY DECEMBER 31, 2022.

UTILITY SERVICE INFORMATION

ELECTRIC SERVICE
PPL ELECTRIC UTILITIES
220 MOREA ROAD
FRACKVILLE, PA 17931
570-459-7368
MR. BRENDAN DOTY
W.O. #58539704

TELEPHONE SERVICE
VERIZON
11 RIDGE ROAD
BLOOMSBURG, PA 17815
570-490-9301
MR. ROBERT JAWORSKI

WATER SERVICE
SCHUYLKILL COUNTY
MUNICIPAL AUTHORITY
221 SOUTH CENTER STREET
P.O. BOX 960
POTTSVILLE, PA 17901
570-728-4376
MR. JOE MAHONEY,
UTILITY MANAGER

GAS SERVICE
NATURAL GAS SERVICE IS
NOT AVAILABLE TO THIS SITE.

STORM SEWER
SCHUYLKILL COUNTY
PLANNING OFFICE
401 NORTH SECOND STREET
POTTSVILLE, PA 17901
570-628-1038

PennDOT DISTRICT 5-0
1002 HAMILTON STREET
ALLEN TOWN, PA 18101
MR. BRETT KLINGEL
DISTRICT PERMIT MANAGER
(610) 871-4167

SANITARY SEWER SERVICE
SAINT CLAIR SEWER AUTHORITY
16 SOUTH THIRD STREET
SAINT CLAIR, PA 17970
MR. JOE COLLINS
(570) 429-0640

BENESCH ENGINEERING
400 ONE NORWEGIAN PLAZA
POTTSVILLE, PA 17901
570-624-4286
MR. CHRIS MCCOACH

LAND OWNER:

LEEMILT'S PETROLEUM, INC.
292 MADISON AVENUE, 9TH FLOOR
NEW YORK, NY 10017-6318
(646) 349-0721
JASON OLSEN, SR. DIRECTOR REAL ESTATE

ENGINEER:

MDM SURVEYORS & ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
EUGENE S. DVORCHAK, PE, PA LIC. No. PE052940E

HIGHWAY OCCUPANCY NOTE

"A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, No. 428), KNOWN AS THE 'STATE HIGHWAY LAW', BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT, AND THE TOWNSHIP COUNCIL APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH A PERMIT CAN BE ACQUIRED."

WAIVERS REQUESTED

ST. CLAIR BOROUGH WAIVER REQUESTS:

- SALDO §302 (\$302.A.3 & §302.C.1) REGARDING THE GENERAL PROCEDURE FOR SUBDIVISIONS AND LAND DEVELOPMENTS TO HAVE THE PLAN SUBMISSION CONSIDERED AS A PRELIMINARY & FINAL LAND DEVELOPMENT PLAN. THE PLANS PRESENTED INCLUDE THE REQUIREMENTS FROM BOTH THE PRELIMINARY AND FINAL MAJOR SUBDIVISION PLAN CHECKLISTS. WAIVER REQUEST GRANTED ON XX/XX/2021.
- SALDO §1105.G.1 REGARDING THE MINIMUM DISTANCE FROM THE CENTERLINE FROM AN ACCESS ROAD OR DRIVEWAY, AT ITS POINT OF ACCESS TO THE STREET, TO THE CENTERLINE OF THE INTERSECTING STREET, SHALL NOT BE LESS THAN THREE HUNDRED FEET (300') IF EITHER STREET IS AN ARTERIAL STREET (RTE. 61 IS ARTERIAL). WAIVER REQUEST GRANTED ON XX/XX/2021.

BOROUGH OF SAINT CLAIR
CERTIFICATE OF MUNICIPAL APPROVAL

AT A MEETING HELD ON _____, 20____, THE BOROUGH OF SAINT CLAIR PLANNING COMMISSION BY _____ DULY ENACTED, APPROVED THE LAND DEVELOPMENT OF THE PROPERTY OF AUTOZONE DEVELOPMENT, LLC, AS SHOWN HEREON.

BOROUGH OF SAINT CLAIR
CERTIFICATE OF MUNICIPAL APPROVAL

AT A MEETING HELD ON _____, 20____, THE BOROUGH OF SAINT CLAIR BOROUGH COUNCIL BY _____ DULY ENACTED, APPROVED THE LAND DEVELOPMENT OF THE PROPERTY OF AUTOZONE DEVELOPMENT, LLC, AS SHOWN HEREON.

LAND OWNER:

LEEMILT'S PETROLEUM, INC.
292 MADISON AVENUE, 9TH FLOOR
NEW YORK, NY 10017-6318
(646) 349-0721
JASON OLSEN, SR. DIRECTOR REAL ESTATE

ENGINEER:

MDM SURVEYORS & ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
EUGENE S. DVORCHAK, PE, PA LIC. No. PE052940E

LESSEE/DEVELOPER:

AUTOZONE DEVELOPMENT, LLC
PROPERTY MANAGEMENT DEPT. 8700
123 SOUTH FRONT STREET
P.O. BOX 2198
MEMPHIS, TN 38103
(901) 495-7625
KEVIN MURPHY, PRE-CONSTRUCTION SPECIALIST

SURVEYOR:

VALLEY LAND SERVICES, LLC
375 NORTHGATE DRIVE
BETHLEHEM, PA 18020
(610) 365-2907
GREGORY C. NOLL, PLS, PA LIC. No. SU075048

TITLE LEGAL

ALL THAT CERTAIN lot or parcel of ground situate partly in East Norwegian Township and partly in the Borough of Saint Clair, Schuylkill County, Pennsylvania, bounded and described as follows:

BEGINNING at an iron pin located on the West right-of-way line of PennDot Traffic Route #61 (L.R. 141), said iron pin being opposite highway station 1374+03; thence from the place of beginning along the North line of land of Philip A. Muscara South sixty-eight degrees nineteen minutes and eleven seconds West (S.68°19'11"W.) for a distance of one hundred seventy-five and no hundredths feet (175.00') to an iron pin on line of lands of Seltzinger Brothers, Inc.; thence along line of lands of Seltzinger Brothers, Inc. North twenty-one degrees forty minutes and forty-nine seconds West (N.21°40'49"W.) for a distance of sixty-eight and forty-six hundredths feet (68.46') to an iron pin; thence along line of Land of Joseph Wenanski North fifty-eight degrees twelve minutes and eleven seconds East (N.58°12'11"E.) for a distance of three and ninety-four hundredths feet (3.94') to an iron pin; thence further along land of Joseph Wenanski North twenty-one degrees forty minutes and forty-nine seconds West (N.21°40'49"W.) for a distance of one hundred fifty-two and thirty-seven hundredths feet (152.37') to an iron pin located on the South right-of-way line of Ann Street; thence along said South right-of-way line of Ann Street North fifty-eight degrees twelve minutes and eleven seconds East (N.58°12'11"E.) for a distance of fifty-four and forty hundredths feet (54.40') to an iron pin; thence around a curve leading from the aforementioned South right-of-way line of Ann Street to the West right-of-way line of aforementioned PennDot Traffic Route #61 (L.R. 141), said curve having an angle of one hundred degrees seven minutes and no seconds (100°07'00"), a radius of one hundred and no hundredths feet (100.00'), a tangent of one hundred nineteen and forty-two hundredths feet (119.42'), and an arc of one hundred seventy-four and seventy-four hundredths feet (174.74') for a cord course of South seventy-one degrees forty-four minutes and nineteen seconds East (S.71°44'19"E.) for a cord distance of one hundred fifty-three and thirty-four hundredths feet (153.34') to an iron pin; thence along the aforementioned West right-of-way line of PennDot Traffic Route #61 (L.R. 141) South twenty-one degrees forty minutes and forty-nine seconds East (S.21°40'49"E.) for a distance of one hundred thirty-two and sixty-four hundredths feet (132.64') to the place of beginning.

CONTAINING 37,579.67 square feet (0.863 Acre) and being shown in greater detail on a plan laid out by Mervyn J. Jenkins, Registered Surveyor, Pottsville, Pennsylvania, dated August 27, 1971, and being designated as Plan #9466.

BEING TAX MAP NOS. 08-07-0014.000 and 62-05-0037.000

BEING the same premises which United Refining Company of Pennsylvania, Debtor-in-Possession, successor by merger to Skat Oil Company, a corporation organized and existing under the laws of Pennsylvania, by Deed dated 04/10/1985 and recorded 05/17/1985 in Schuylkill County at Deed Book 1359 Page 286, granted and conveyed unto Berkshire Construction Company, Inc., a Pennsylvania corporation, in fee.

Being the same tract of land described in a Commitment for Title Insurance by First American Title Insurance Company, Commitment No. NCS-1000901-MICH, dated February 27 2020

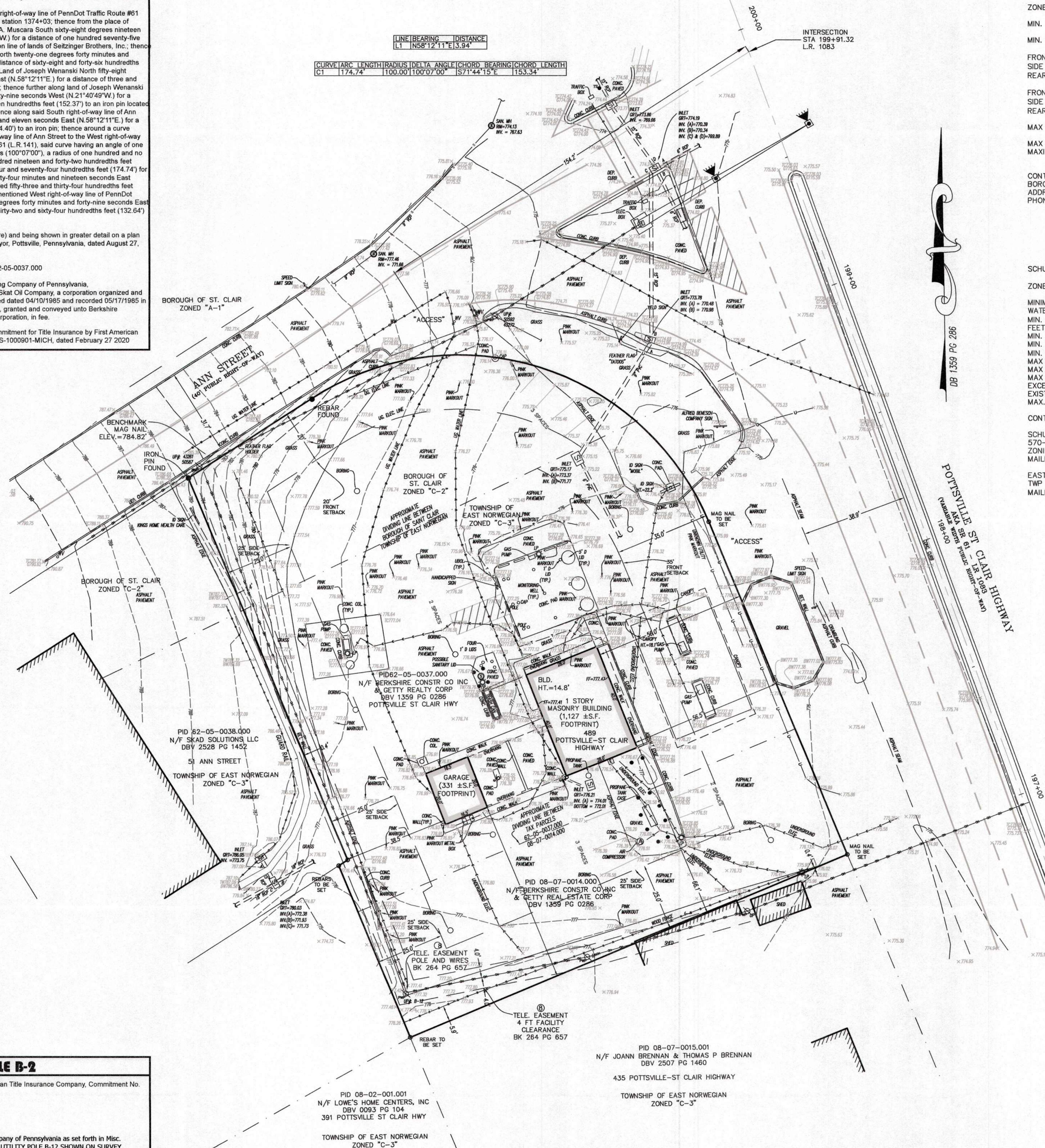
SCHEDULE B-2

Commitment for Title Insurance by First American Title Insurance Company, Commitment No. NCS-1000901-MICH, dated February 27 2020

8. Rights granted to The Bell Telephone Company of Pennsylvania as set forth in Misc. Book 264 Page 657. - LOCATION OF ALLOWED UTILITY POLE B-12 SHOWN ON SURVEY. RIGHT TO KEEP TELE. UTILITIES BY AT LEAST FOUR FEET PLOTTED ON SURVEY.

LINE BEARING DISTANCE
L1 N58°12'11"E 3.94'

CURVE ARC LENGTH RADIUS DELTA ANGLE CHORD BEARING CHORD LENGTH
C1 174.74 100.00 100°07'00" S71°44'19"E 153.34



ZONING

BOROUGH OF ST CLAIR

ZONED: C-2 "GENERAL COMMERCIAL" DISTRICT

MIN. LOT AREA: 10,000 S.F.

MIN. LOT WIDTH: 50 FEET

FRONT SETBACK (PRINCIPAL STRUCTURE): 20 FEET
SIDE SETBACK (PRINCIPAL STRUCTURE) (EACH) : 10 FEET
REAR SETBACK (PRINCIPAL STRUCTURE): 20 FEET

FRONT SETBACK (ACCESSORY STRUCTURE): NOT PERMITTED
SIDE SETBACK (ACCESSORY STRUCTURE) (EACH): 10 FEET
REAR SETBACK (ACCESSORY STRUCTURE): 10 FEET

MAX BUILDING HEIGHT: 35 FEET OR 2.5 STORIES

MAX BUILDING COVERAGE: 35%
MAXIMUM IMPERVIOUS COVERAGE: 35%

CONTACT LOCAL MUNICIPALITIES TO VERIFY INFORMATION:
BOROUGH OF ST CLAIR
ADDRESS: 16 SOUTH THIRD STREET, ST CLAIR, PA 17970
PHONE: 1 570-429-0640

ZONING

EAST NORWEGIAN TOWNSHIP

SCHUYLKILL COUNTY GOVERNS BOTH ZONING AND SUBDIVISION/LAND DEVELOPMENT.

ZONED: C-3 "HIGHWAY COMMERCIAL"

MINIMUM LOT AREA: 10,000 S.F EXCEPT 43,560 S.F IF LOT IS NOT SERVED BY PUBLIC WATER AND PUBLIC SEWAGE SERVICE
MIN. LOT WIDTH (MEASURED AT MIN. BUILDING SETBACK LINE) = 75 FEET EXCEPT 150 FEET IF THE LOT IS NOT SERVED BY PUBLIC WATER AND SEWAGE SERVICES
MIN. FRONT YARD SETBACK = 35 FEET
MIN. REAR YARD SETBACK = 25 FEET
MIN. SIDE YARD SETBACK (EACH) = 25 FEET
MAX BUILDING COVERAGE = 60%
MAX PERCENT IMPERVIOUS COVERAGE = 90%
MAX BUILDING HEIGHT = 100 FEET, PROVIDED THAT NO PORTION OF A BUILDING SHALL EXCEED A MAXIMUM HEIGHT OF 50 FEET IF IT IS WITHIN 80 FEET OF THE LOT LINE OF AN EXISTING PRINCIPAL DWELLING IN A RESIDENTIAL DISTRICT
MAX. HEIGHT ANY OTHER STRUCTURE = 40 FEET

CONTACT LOCAL MUNICIPALITIES TO VERIFY INFORMATION:

SCHUYLKILL COUNTY ZONING:
570-628-1416
ZONING/CODING/SCHUYLKILL.PA.US
MAILING ADDRESS: 401 NORTH SECOND STREET, POTTSVILLE, PA 17901

EAST NORWEGIAN TOWNSHIP
TWP OFFICE: 543 PORT CARBON-ST CLAIR HIGHWAY, POTTSVILLE, PA 17901
MAILING ADDRESS: C/O SUZANNE MCGEOY 3001 CHESTNUT STREET, POTTSVILLE, PA 17901

UTILITY NOTES

ST CLAIR BOROUGH ONE CALL TICKET NUMBER 20202272148
EAST NORWEGIAN TWP ONE CALL TICKET NUMBER: 20202272149
CALL DATE = AUGUST 29 2020

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA ARE:

MUNICIPAL AUTHORITY OF THE TOWNSHIP OF BLYTHE
PHONE: 570-277 6921
ADDRESS: 375 VALLEY ST, NEW PHILADELPHIA, PA 17959

PPL Electric Utilities
ADDRESS: 827 Hausman Road, Allentown, PA 18104-9392
PHONE: 1-800-342-5775

SAINT CLAIR BOROUGH
PHONE: 570-429-0640
ADDRESS: 16 S. THIRD STREET, SAINT CLAIR PA 17970

SAINT CLAIR SEWER AUTHORITY
PHONE: 570-429-0640
ADDRESS: 16 S. THIRD STREET, SAINT CLAIR PA 17970

SCHUYLKILL COUNTY MUNICIPAL AUTHORITY
PHONE: 570 622-8240
ADDRESS: 221 S. CENTRE STREET
P.O. BOX 960 POTTSVILLE, PA 17901

SERVICE ELECTRIC CABLE TV & COMMUNICATIONS
ADDRESS: 2260 AVE. A, BETHLEHEM, PA 18017
PHONE: NONEMERGENCY 610-865-9100, EMERGENCY 570-825-8508

UGI ENERGY SERVICE
ADDRESS: P.O. Box 13009, Reading, PA 19612-3099
PHONE: NON-EMERGENCY 1-800-276-2722, EMERGENCY (800)-276-2722

EAST NORWEGIAN TWP ONLY:

GREATER POTTSVILLE AREA SEWER AUTHORITY
PHONE: 570-662-0513
ADDRESS: 401 NORTH CENTRE STREET
P.O. BOX 1163, POTTSVILLE, PA 17901-7163

SURVEYOR'S CERTIFICATION

TO: BERKSHIRE CONSTR CO INC, GETTY REAL ESTATE CORP AND First American Title Insurance Company

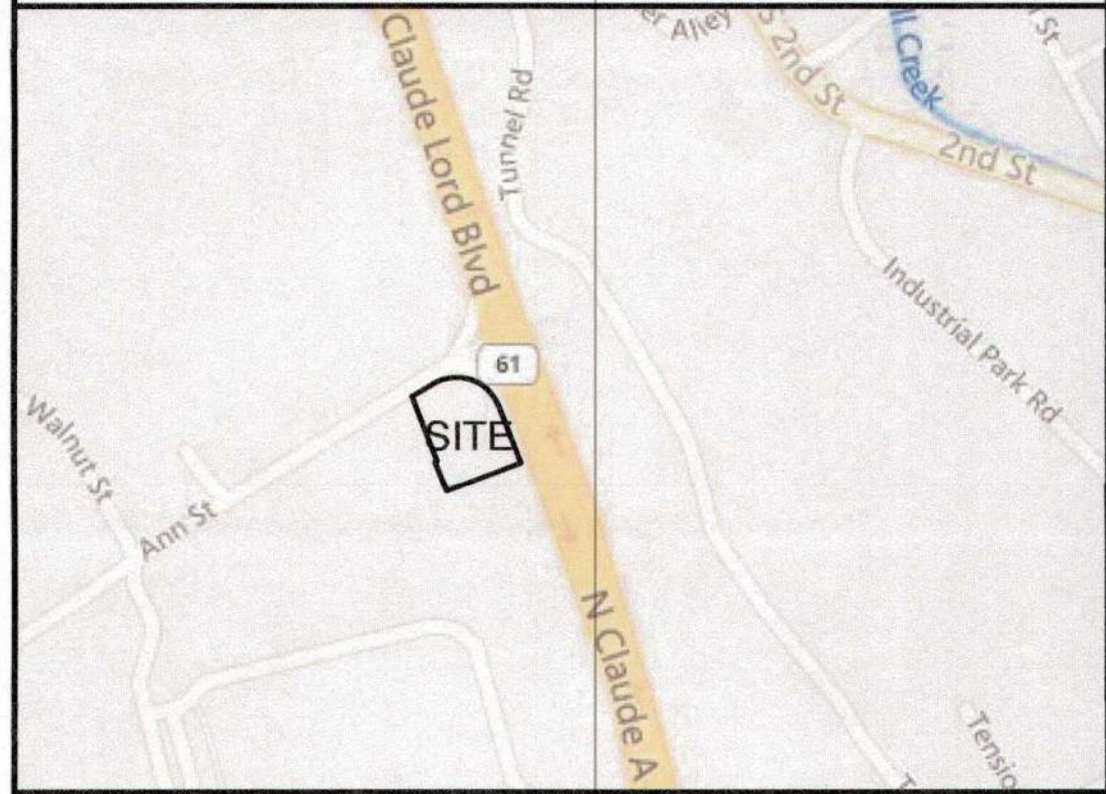
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7a, 7b(1), 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 of Table A thereof.

Surveyor's Signature: Gregory C. Noll
Gregory C. Noll
Professional Land Surveyor, SJ075048
in the Commonwealth of Pennsylvania
Date of Survey: September 8 2020
Date of Last Revision: September 8 2020
A2#2800

Survey Performed By:
Valley Land Services, LLC
4383 Hecktown Road, Suite B
Bethlehem, PA 18020
Phone 610-365-2907
Fax 610-365-2958
Email: jchoemaker@firstorderllc.net
Project No. V20-0149

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE, INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFAIRS, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

VICINITY MAP



NOT TO SCALE

SITE DATA

1. PROPERTY IS KNOWN AS PARCEL ID 62-05-0037.000, PARTIALLY IN THE BOROUGH OF ST CLAIR AND PARTIALLY IN THE TOWNSHIP OF EAST NORWEGIAN, AND PARCEL ID 08-07-0014.000 IN THE TOWNSHIP OF EAST NORWEGIAN, SCHUYLKILL COUNTY, PA.
2. LOT AREA = 37,581 S.F. OR 0.8627 AC.
3. THE SUBJECT PROPERTY HAS DIRECT, PHYSICAL ACCESS TO ANN STREET AND THE SOUTHBOUND SIDE OF POTTSVILLE ST CLAIR HIGHWAY (AKA SR 61)
4. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
5. VERTICAL DATUM = NAVD88. BENCHMARK MAG NAIL ELEV.=784.82
6. HORIZONTAL DATUM = NAD 83/2011 SPC PA SOUTH
7. DATUM OBTAINED WITH TRIMBLE R8 GPS UNIT UTILIZING KEYNET VRS NETWORK.
8. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS BY GPR ONE-CALL, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
10. TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = 08-24-2020.
11. THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND EMBOSSED WITH A RED SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.
12. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
13. COPYRIGHT ©2020, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT A RED SEAL ARE NOT VALID.
14. PARKING PROVIDED -
-REGULAR = 9 SPACES
-HANDICAP = 1 SPACES
TOTAL SPACES PROVIDED = 10
15. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 17, THERE ARE NO KNOWN CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTIONS. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS.

FLOOD NOTE

BY GRAPHICAL REPRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (UNSHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 422015 0354 E, AND 422003 0354 E, MAP# 42107C0354E WHICH HAS AN EFFECTIVE DATE OF NOVEMBER 19, 2014 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR AN AMENDMENT FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (NAVD88)

TYPE OF SURVEY: ALTA/NSPS SURVEY

VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
Phone (610) 365-2907
Fax (610) 365-2958

SITE ADDRESS: 489 POTTSVILLE-ST CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST CLAIR
SCHUYLKILL COUNTY, PA

CLIENT: AZ # 2800

JOB NO: V20-0149 DRAWN BY: INQ/HMD APPROVED BY: GCN

DATE: SEPTEMBER 8, 2020

No.	DATE	DESCRIPTION
1	10-05-2021	REVISED PER CLIENT COMMENTS
2	11-11-2021	REVISED PER ENGINEER REVIEW

0' 20' 40' 60'
SCALE: 1" = 20'

SHEET 2 OF 16

2



SITE LOCATION MAP
SCALE: 1"=2,000'

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER AND LOCAL MUNICIPALITY. ALL COSTS TO COMPLETE THIS WORK SHALL BE INCLUDED IN THE BASE BID FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORM TRAFFIC CONTROLLERS IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE DEPARTMENT OF TRANSPORTATION, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AND THE ARCHITECT FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND RETAINING WALL DETAILS AS APPLICABLE.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION GUIDELINES AND SHALL BE EITHER COLD LAID THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION GUIDELINES UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING, WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS AND DOOR STEP LOCATIONS.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- THE OWNER, AT THEIR DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AS REQUIRED FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING, ROOF DRAINS, AND CONCRETE SIDEWALKS.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DEPARTMENT OF TRANSPORTATION STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM WITHIN THREE (3) WORKING DAYS BEFORE COMMENCEMENT OF WORK AT 1-800-242-1776 AND VERIFY ALL LOCATIONS.
- NO PART OF THE LOT IS LOCATED WITHIN ANY FLOODPLAIN AREAS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.

LAND OWNERS:

LEEMILTS PETROLEUM, INC.
292 MADISON AVENUE, 9th FLOOR
NEW YORK, NY 10017-6318
(646) 349-0721
JASON OLSON, SR. DIRECTOR REAL ESTATE

LESSEE/DEVELOPER:

AUTOZONE DEVELOPMENT, LLC
PROPERTY MANAGEMENT DEPT. 8700
123 SOUTH FRONT STREET
P.O. BOX 2198
MEMPHIS, TN 38103
(901) 495-7625
KEVIN MURPHY, PRE-CONSTRUCTION SPECIALIST

SURVEYOR:

VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
(610) 365-2007
GREGORY C. NOLL, PLS, PA LIC. No. SU075048

ENGINEER:

MDM SURVEYORS & ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
EUGENE S. DVORCHAK, PE, PA LIC. No. PE052940E

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE SITE UTILITY PLAN.
- PROPOSED USE: RETAIL SALE OF AUTO PARTS.
- SEE SUBSURFACE COAL REPORT PREPARED BY ACA ENGINEERING, INC., DATED OCTOBER 18, 2021, REGARDING A HIGH RISK OF SUBSIDENCE AT THE PROJECT SITE, AND GROUTING RECOMMENDATIONS. CONTRACTOR TO INCLUDE COST OF MINE GROUTING IN PROJECT BID.
- INFORMATION REGARDING CLEAR SIGHT TRIANGLES AND STATIONS HAS BEEN PROVIDED BY WOOSTER & ASSOCIATES.

*PARKING REQUIREMENTS

* REQUIREMENTS PER SCHUYLKILL COUNTY SALDO.

PARKING REQUIREMENTS FOR RETAIL STORE:
PARKING STALL SIZE: 9' x 18' REQUIRED; 9' x 18' PROPOSED. (E. NORWEGIAN TWP./SCHUYLKILL COUNTY)
PARKING STALL SIZE: 9' x 20' REQUIRED; 9' x 20' PROPOSED. (ST. CLAIR BOROUGH)

ONE (1) PARKING STALL PER 200 SQ. FT. OF FLOOR AREA ACCESSIBLE TO CUSTOMERS.

3,296 SF ÷ 200 SF = 17 PARKING STALLS REQUIRED

37 PARKING STALLS PROPOSED
31 STALLS @ 9' x 18' (SCHUYLKILL COUNTY)
6 STALLS @ 9' x 20' (ST. CLAIR BOROUGH)

7,382 SF = TOTAL FLOOR AREA
4,086 SF = MERCHANDISE STORAGE AREA BEHIND COUNTER
3,296 SF = CUSTOMER FLOOR ACCESS AREA

SUMMARY CHART

UPI 62-05-0037.000 AREA: 28,825.942± SF = 0.662 ACRES
UPI 08-07-0014.000 AREA: 8,754.308± SF = 0.201 ACRES
TOTAL PROPERTY AREA: 37,581 SF = 0.9 ACRES
LIMIT OF DISTURBANCE: 42,250 SF = 1.0 ACRES
TOTAL NUMBER OF LOTS IN DEVELOPMENT: 1
PROPOSED WATER SYSTEM: PUBLIC
PROPOSED SANITARY SYSTEM: PUBLIC
DEED SOURCE: DEED BOOK VOLUME 1359, PAGE 0286
PROPOSED USE: COMMERCIAL - RETAIL SALE OF AUTO PARTS

ST. CLAIR: 20202272148
EAST NORWEGIAN: 20202272149

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

ZONING INFORMATION

BOROUGH OF ST. CLAIR
ZONING DISTRICT: C-2
(GENERAL COMMERCIAL DISTRICT)
RETAIL & WHOLESALE OF GOODS, PREPARED
FOODS, AND SERVICES IS A PERMITTED USE
WITHIN THIS ZONING DISTRICT.

ZONING INFORMATION WAS OBTAINED FROM:
BOROUGH OF SAINT CLAIR
16 SOUTH THIRD STREET
SAINT CLAIR, PA 17970
(570) 429-0640
ROLAND PRICE

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	10,000 SF	37,581 SF (TOTAL)
MINIMUM LOT WIDTH	50'	220.83'
MINIMUM FRONT YARD SETBACK	20'-0"	83'-4"
MINIMUM SIDE YARD SETBACK	10'-0" EACH SIDE	25'-1"
MINIMUM REAR YARD SETBACK	20'-0"	N/A
MINIMUM PAVED AREA SETBACK	10'-0" ARTERIAL OR COLLECTOR <2 ACRES	4'-11" MIN. 14'-0" MAX.
MAXIMUM BUILDING HEIGHT	35'-0" OR 2.5 STORIES	19'-0"
MAXIMUM BUILDING COVERAGE	35%	N/A
MAXIMUM IMPERVIOUS COVERAGE	35%	N/A
MINIMUM SIGN SETBACK	50% OF FRONT YARD SETBACK = 10'-0"	12'-8"

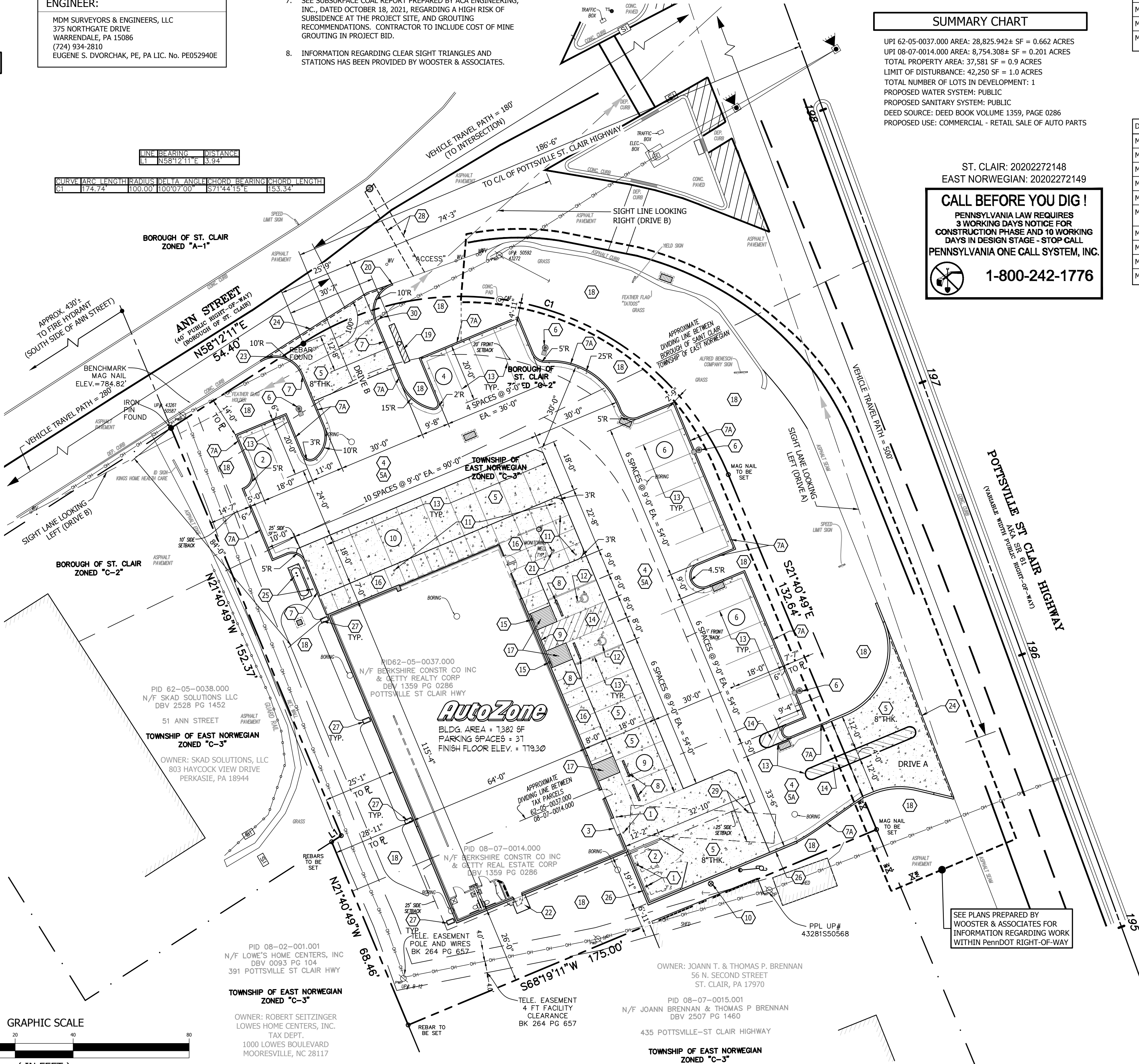
TOWNSHIP OF EAST NORWEGIAN
ZONING DISTRICT: C-3
(HIGHWAY COMMERCIAL DISTRICT)
A RETAIL STORE IS A PERMITTED
USE WITHIN THIS ZONING DISTRICT.

ZONING INFORMATION WAS OBTAINED FROM:
SCHUYLKILL COUNTY PLANNING & ZONING DEPT.
401 NORTH SECOND STREET
POTTSVILLE, PA 17901
(570) 628-1416
ZONING OFFICER

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	10,000 SF	37,581 SF (TOTAL)
MINIMUM LOT WIDTH	75'-0"	220.83'
MINIMUM FRONT YARD SETBACK	35'-0"	80'-2"
MINIMUM SIDE YARD SETBACK	25'-0"	25'-1"
MINIMUM REAR YARD SETBACK	25'-0"	N/A
MINIMUM PAVED AREA SETBACK	10'-0" (20-99 PARKING SPACES)	2'-9" MIN. 7'-7" MAX.
MAXIMUM BUILDING HEIGHT	100'-0"	19'-0"
MAXIMUM BUILDING COVERAGE	60%	19.6%
MAXIMUM IMPERVIOUS COVERAGE	90%	70.8%
MINIMUM SIGN SETBACK	25'-0"	N/A

KEYNOTES

- PIPE GUARD - SEE DETAIL 11/C1.A.
- DUMPSTER LAYOUT - SEE DETAILS 12, 13, 14 & 15/C1.A.
- SERVICE DOOR - SEE DETAIL 10/C1.A.
- ASPHALT PAVING - SEE DETAILS 2 & 4/C1.A.
- CONCRETE PAVING - SEE DETAIL 3/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 20 & 21/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
- G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING, WHERE NOTED.
- CONCRETE LIGHT POLE BASE - SEE DETAIL ON PHOTOMETRIC LIGHTING PLAN (PH1.0). AIM LIGHT FIXTURE IN DIRECTION AS INDICATED.
- ROLL-OVER CURB @ CONCRETE PAVING - SEE DETAIL 1/C1.A.
- ROLL-OVER CURB @ ASPHALT PAVING - SEE DETAIL 2/C1.A.
- WHEEL STOP. SEE DETAIL 22/C1.A.
- CONSTRUCT 6" WIDE CONCRETE CURB AGAINST BUILDING AT ACCESSIBLE RAMP.
- FROST-PROOF HOSE BIBB - SEE DETAIL 6, SHEET M2.
- BOLLARD PLAN - SEE DETAIL 9/C1.A.
- BARRIER-FREE PARKING SYMBOL - SEE DETAIL 7/C1.A.
- 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.).
- 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. STRIPES AT ACCESSIBLE PARKING TO BE BLUE - SEE DETAIL 6/C1.A.
- ACCESSIBLE PARKING SIGN - SEE DETAIL 8/C1.A. G.C. TO PROVIDE ONE VAN ACCESSIBLE SIGN.
- CONCRETE SIDEWALK - SEE DETAILS 19 & 25/C1.A FOR SIDEWALKS AROUND BUILDING.
- ACCESSIBLE RAMP - SEE DETAILS 5 & 6/C1.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS-SLOPE 1:50 (2.00%), TRUNCATED DOME TO BE A CONTRASTING COLOR.
- NEW LANDSCAPE AREA - PROVIDE 3" TOPSOIL & SOD. SEE SHEET L1.0 FOR ADDITIONAL INFORMATION.
- 3"x13"x20" OAH PYLON SIGN. (UNDER SEPARATE PERMIT). ALL SIGNS SHALL BE PERMITTED IN ACCORDANCE WITH MUNICIPAL REGULATIONS.
- SLOPE CURB FLUSH TO PAVEMENT AT 4:1 SLOPE.
- EXISTING MONITORING WELL TO REMAIN. CONFIRM WITH ENVIRONMENTAL CONSULTANT. INSTALL CAST FRAME AND GRATE FLUSH TO NEW SIDEWALK, FOR ACCESS, IF REQUIRED.
- 5'x5' CONCRETE PAD. SEE DETAIL 18/C1.A.
- NEW CONCRETE CURB TO MATCH EXISTING, PER MUNICIPAL REQUIREMENTS.
- NEW CONCRETE DEPRESSED CURB, PER PennDOT SPECIFICATIONS.
- NEW PROPANE TANK ON CONCRETE PAD FOR GAS SERVICE TO BUILDING. SEE SITE UTILITY PLAN (U1.0). FURNISH AND INSTALL 6" STD. BOLLARDS FILLED WITH CONCRETE TO PROTECT TANK. SEE DETAIL 11/C1.A.
- 8" THK. POURED-IN-PLACE CONCRETE RETAINING WALL. SEE DETAIL ON SHEET C1.A. SEE GRADING PLAN FOR ELEVATIONS.
- CONCRETE SPLASH BLOCK. SEE DETAIL 16/C1.A.
- NEW FULL-DEPTH ASPHALT PAVEMENT AT UTILITY WORK, TO MATCH EXISTING. SEAL ALL EDGES WITH AC-20. PER BOROUGH ENGINEER, EXISTING PAVEMENT IS 1.5" WEARING ON 8" RCP. RESTORATION MUST MATCH EXISTING.
- OFF-STREET LOADING AREA 10' x 50'.
- "STOP" SIGN (R1-1) MOUNTED ON GALVANIZED STEEL POLE, PER PennDOT SPECIFICATIONS.



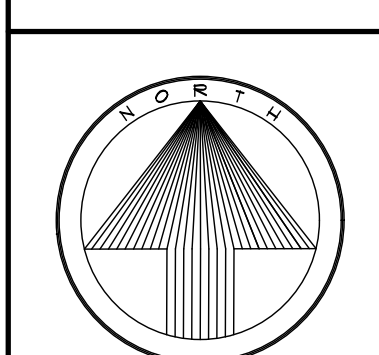
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

© COPYRIGHT 2023

Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA

SITE PLAN

SCALE: 1" = 20'-0"

REVISIONS

1. 11-30-21 PER BOROUGH & COUNTY COMMENTS

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-
-
-
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ARCHITECT: LE

DRAFTSMAN: CWT

CHECKED BY: CAD

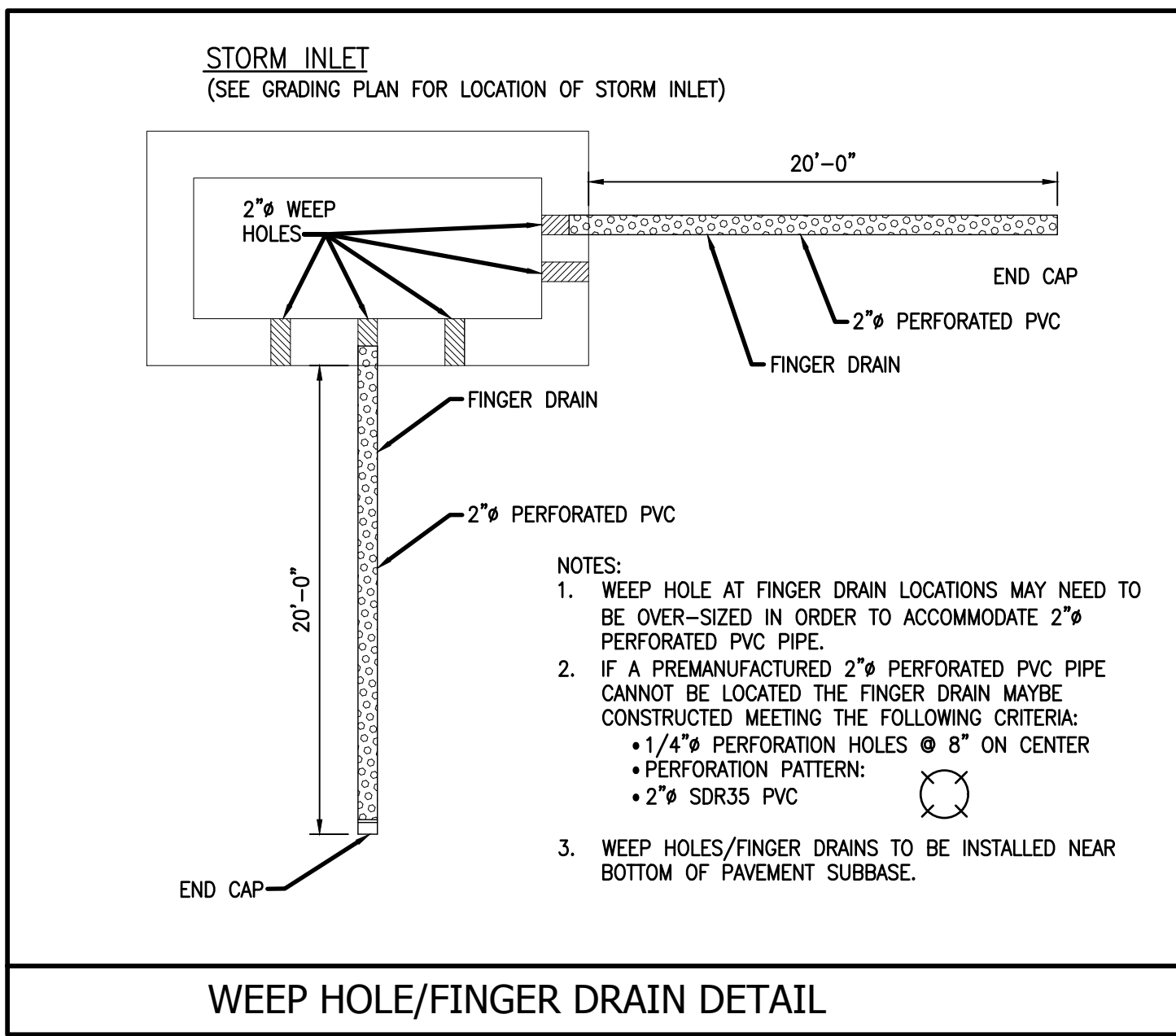
DATE
6-25-2021

PROTOTYPE SIZE

7x2-R



C1.0
SHEET 3 of 16



WEEP HOLE/FINGER DRAIN DETAIL



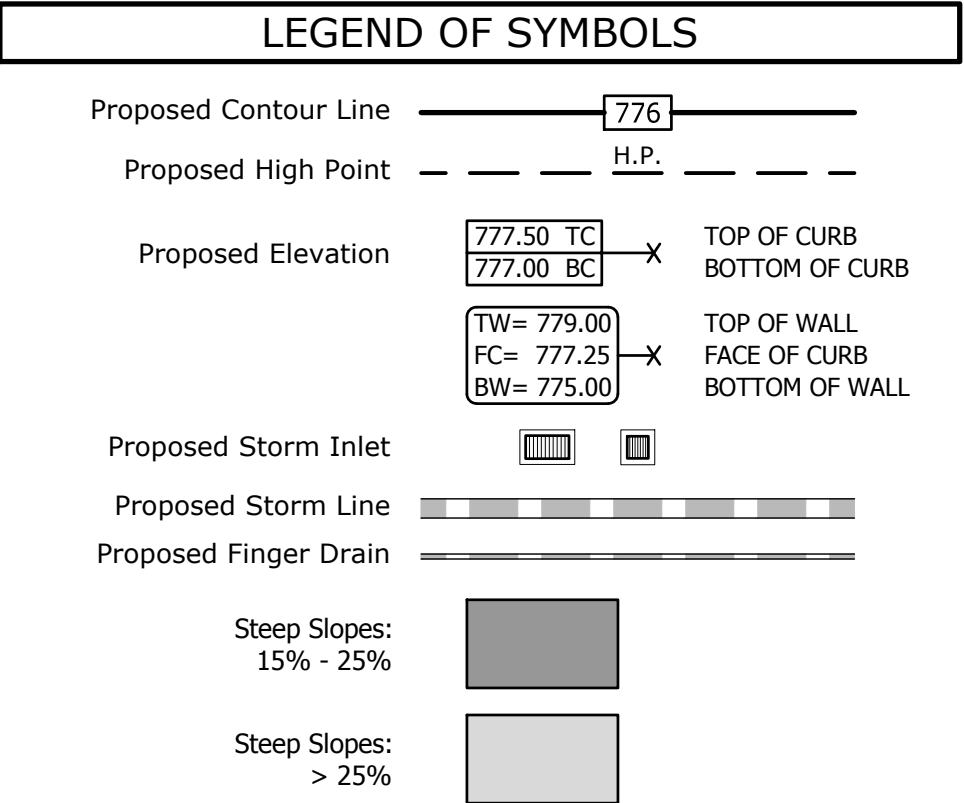
SITE LOCATION MAP
SCALE: 1"=2,000'

*NOTE:
MATCH EXISTING GRADES AT PAVEMENT.
ADVISE AUTOZONE DEVELOPMENT, LLC
MANAGER OF ANY DISCREPANCIES PRIOR
TO CONSTRUCTION.

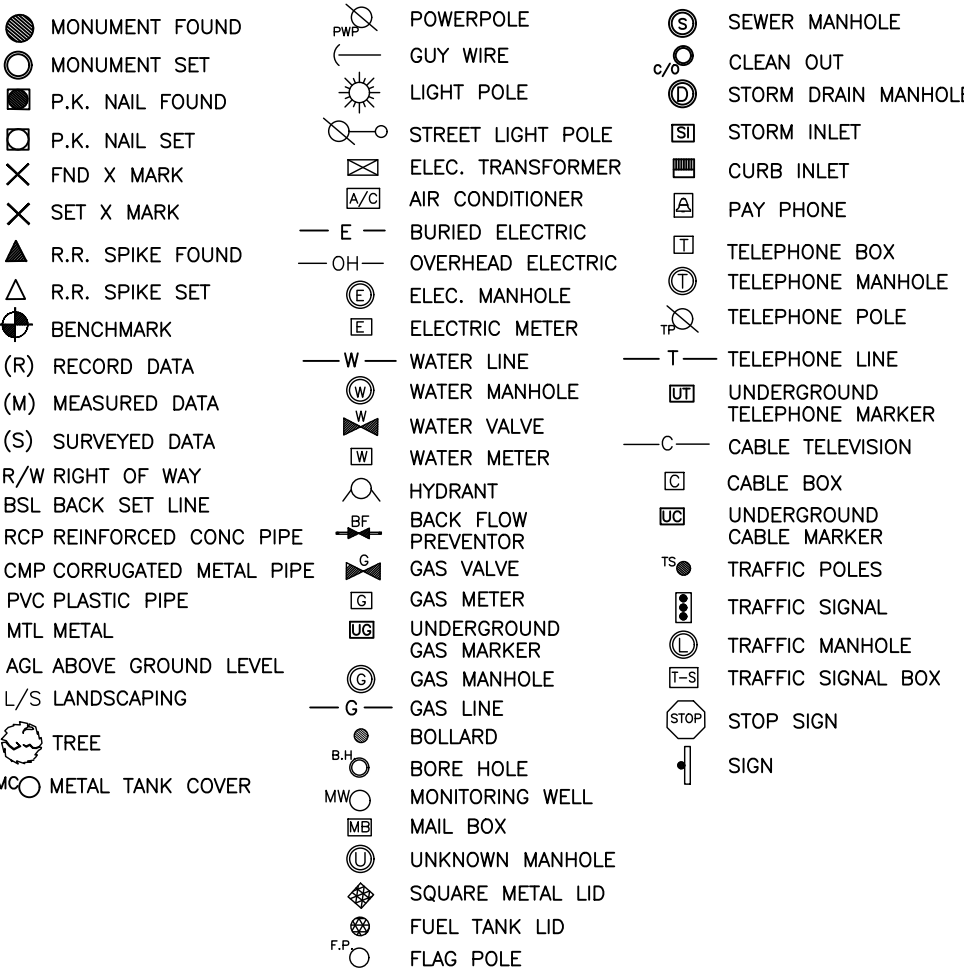
NOTE:
PLAN PREPARED UTILIZING DATA FROM SURVEY PREPARED BY GREGORY C. NOLL OF VALLEY LAND SERVICES, LLC, AT 4383 HECKTOWN ROAD, BETHLEHEM, PA 18020, DATED SEPTEMBER 8, 2020.

VERTICAL DATUM = NAVD 88, BENCHMARK MAG NAIL ELEVATION = 784.82.
HORIZONTAL DATUM = NAD83/2011 SPC PA SOUTH.
DATUM OBTAINED WITH TRIMBLE R8 GPS UNIT UTILIZING KEYNET VRS NETWORK.

EQUITABLE OWNER: AUTOZONE DEVELOPMENT, LLC
RESPONSIBLE PARTY: AUTOZONE DEVELOPMENT, LLC



SYMBOLS

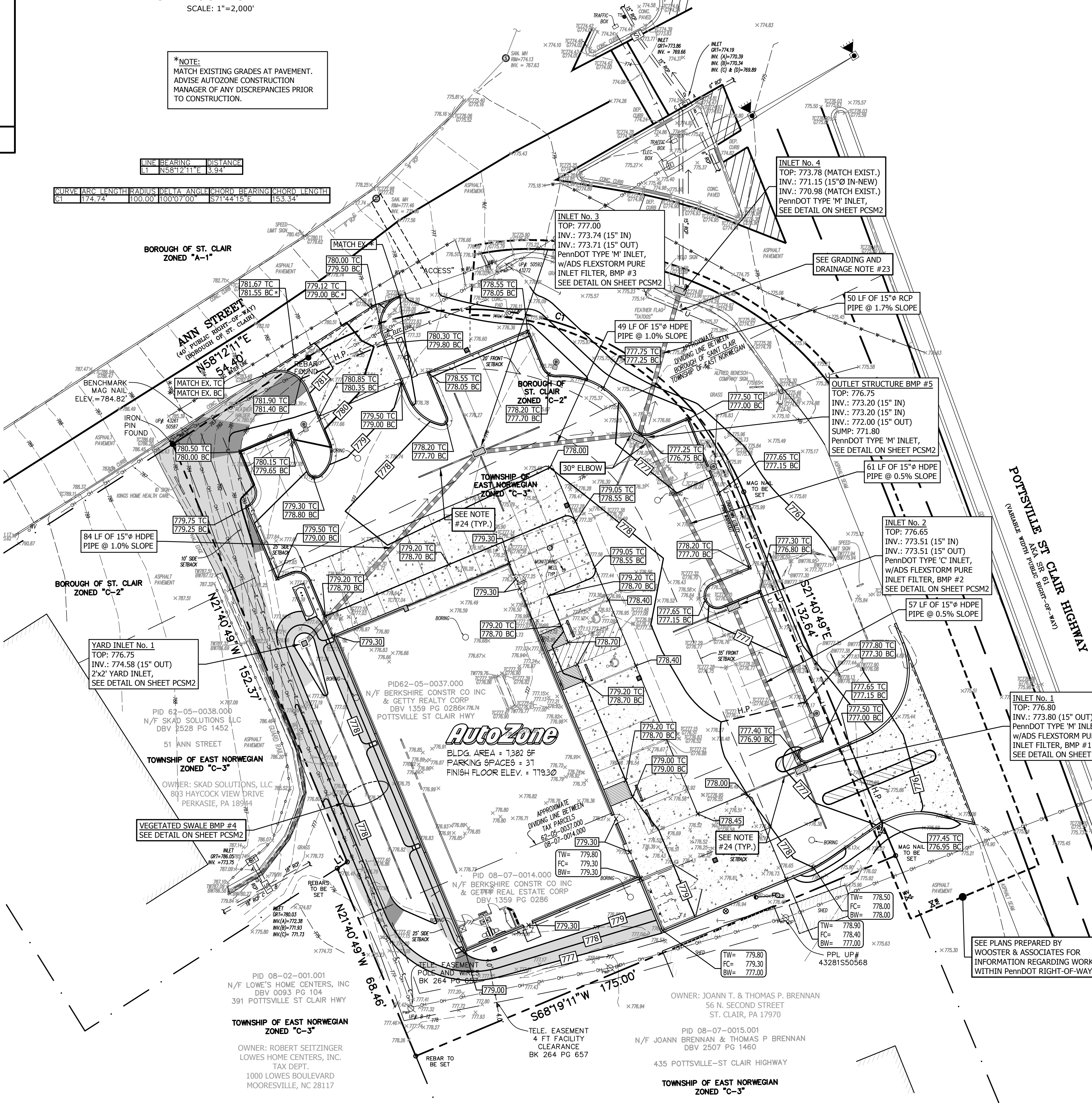


SUBSURFACE COAL REPORT

SEE SUBSURFACE COAL REPORT PREPARED BY ACA ENGINEERING, INC., DATED OCTOBER 18, 2021, REGARDING A HIGH RISK OF SUBSIDIANCE AT THE PROJECT SITE, AND GROUTING RECOMMENDATIONS. CONTRACTOR TO INCLUDE COST OF MINE GROUTING IN PROJECT BID.

GRADING & DRAINAGE NOTES

1. SEE SITE PLAN FOR ADDITIONAL GENERAL NOTES.
2. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH LOCAL MUNICIPALITY, LOCAL COUNTY, AND DEPARTMENT OF TRANSPORTATION MATERIAL AND CONSTRUCTION SPECIFICATIONS.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 AT LEAST THREE (3) WORKING DAYS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
4. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
5. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
6. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
7. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
8. MANHOLE RIMS AND STORM INLET GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
9. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
10. ALL EXISTING TOPOGRAPHICAL FEATURES (SPOT ELEVATIONS, CONTOURS, INVERTS, ETC.) CAN HAVE A TOLERANCE DIFFERENCE OF 6"± DEPENDING ON FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHICAL FEATURES PRIOR TO CONSTRUCTION, AND ADVISE OWNER OF ANY DISCREPANCIES.
11. THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
13. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION AND SEDIMENTATION PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
14. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
16. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
17. ALL EXCAVATION AND GRADING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
18. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO STORM INLETS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
19. VERIFY REQUIRED SPOT ELEVATIONS/GRADINGS IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
20. ALL ACCESSIBLE PARKING SPACES TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
21. ALL SIDEWALKS, PATIO AREAS, AND ACCESSIBLE ROUTES TO THE BUILDING ARE TO HAVE A MAXIMUM CROSS SLOPE OF 2%, AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
22. CONTRACTOR TO FIELD VERIFY PROPOSED AND EXISTING GRADES, SLOPES, ETC., FOR PROPOSED ACCESSIBLE PARKING AREAS, RAMPS, ETC., WITH ARCHITECT, PRIOR TO CONSTRUCTION.
23. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM FIELD OBSERVATION, UTILITY MAPS, ETC., AND ARE NOT ASSUMED TO BE ACCURATE. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO DIG TEST PITS AT ALL PROPOSED UTILITY CROSSINGS, TO VERIFY LOCATION, DEPTH, SIZE, ETC. OF EXISTING UNDERGROUND UTILITIES, AND CONFIRM NEW UTILITY LINES CAN BE INSTALLED AS PROPOSED. ADVISE CONSTRUCTION MANAGER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
24. INSTALL PERFORATED FINGER DRAINS AT INLETS, PER GEOTECHNICAL REPORT RECOMMENDATIONS. SEE DETAIL ON SHEET C1.1.



ST. CLAIR: 20202272148
EAST NORWEGIAN: 20202272149

CALL BEFORE YOU DIG !

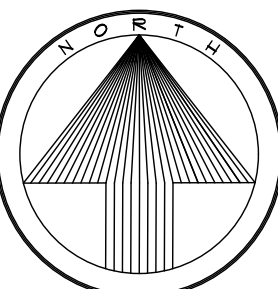
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

GRAPHIC SCALE



Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8869
For Bidding & Contractor Information Contact:
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PREPARED FOR:
AutoZone
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA

SCALE: 1" = 20'-0"

REVISIONS

1.	11-30-21	PER BOROUGH & COUNTY COMMENTS
2.		
3.		
4.		
5.		
6.		

ARCHITECT: LE

DRAFTSMAN: CWT

CHECKED BY: CAD

DATE
6-25-2021

PROTOTYPE SIZE
7x2-R

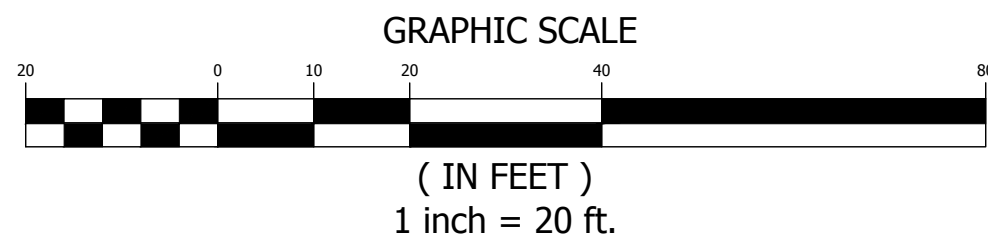


C1.1

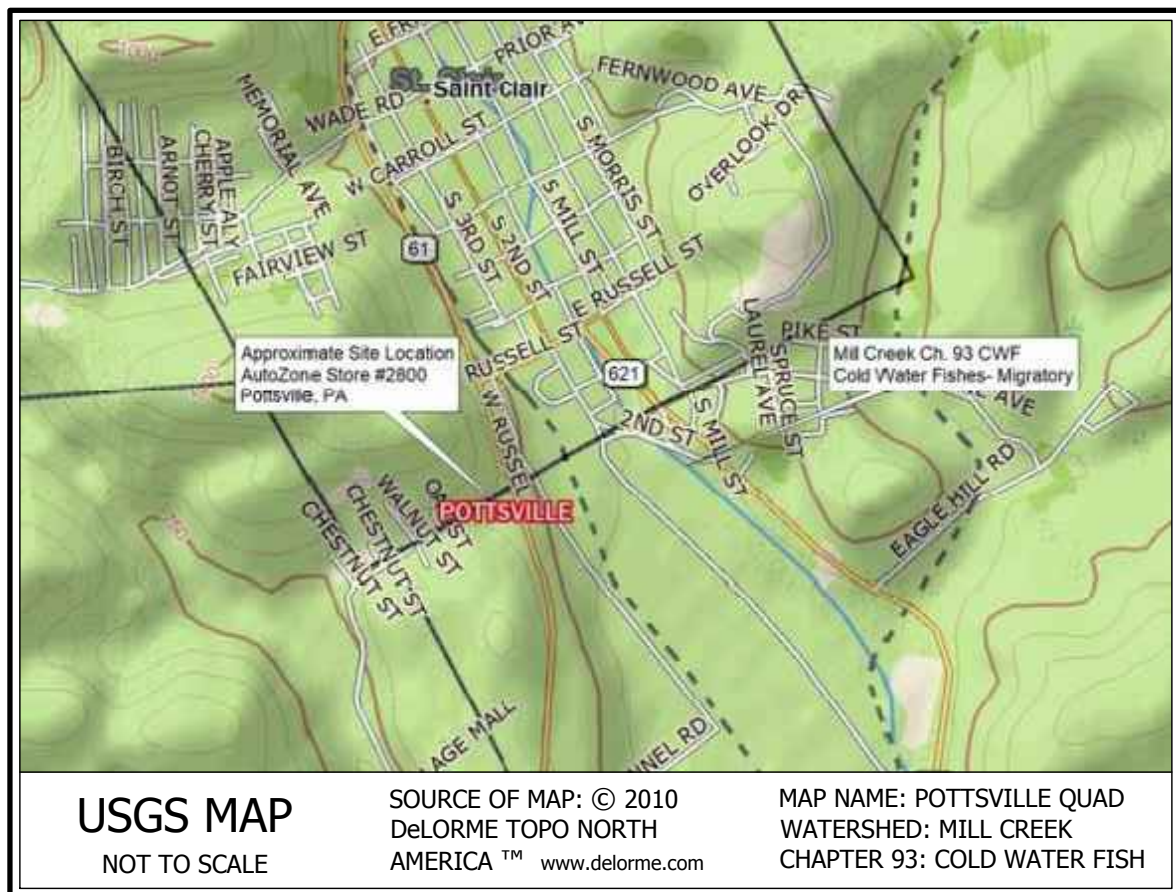
SHEET 5 of 15



SITE LOCATION MAP
SCALE: 1"=2,000'



SOILS MAP
NOT TO SCALE



USGS MAP
NOT TO SCALE

SOURCE OF MAP: © 2010
DeLorme TOPO NORTH
AMERICA™ www.delorme.com

MAP NAME: POTTSVILLE QUAD
WATERSHED: MILL CREEK
CHAPTER 93: COLD WATER FISH

NOTE:
BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OF THE DEP, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS. THE OPERATOR SHALL ALSO NOTIFY THE LOCAL CONSERVATION DISTRICT IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.

NOTE:
THE ENTRANCE ON ANN STREET IS NOT TO BE USED AS A CONSTRUCTION ENTRANCE.

NOTE: THIS PLAN CONFORMS TO THE REQUIREMENTS OF THE CURRENT PENNSYLVANIA CODE, TITLE 25, CHAPTER 102, EROSION AND SEDIMENT CONTROL REGULATIONS AND THE PA CLEAN STREAMS LAW.

ST. CLAIR: 20202272148
EAST NORWEGIAN: 20202272149

CALL BEFORE YOU DIG !
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
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PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

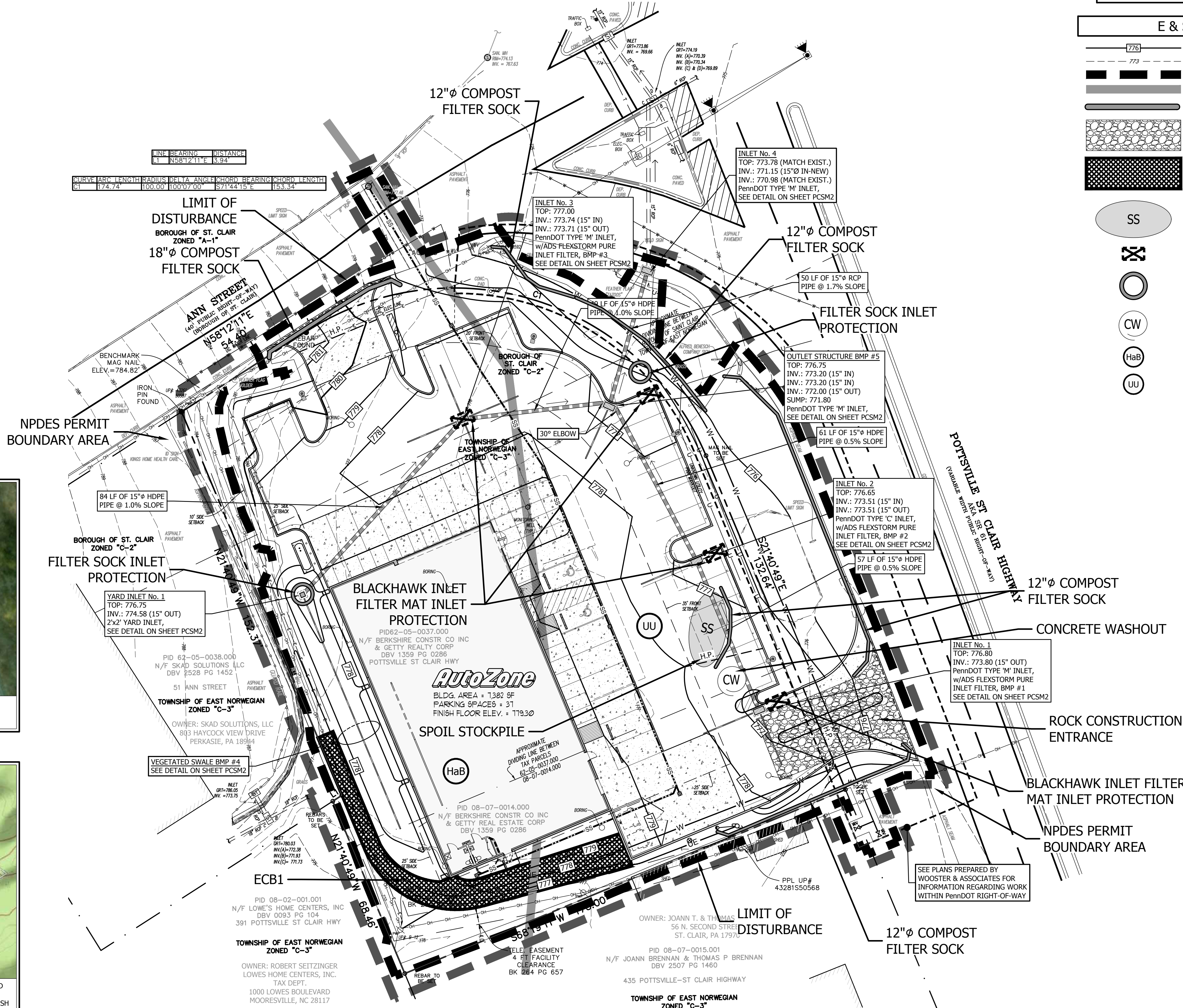
EROSION CONTROL BLANKETS					
LOCATION	SLOPE AREAS (S.F.)	LONGEST RUN (FT.)	SLOPE	NA GREEN OR EQUIVALENT MATERIAL	STAPLE PATTERN
ECB1	1,300	12	3:1	S-75	'B'

NOTES:
THIS PLAN TO BE USED FOR THE CONSTRUCTION OF EROSION AND SEDIMENTATION CONTROL BMP'S ONLY.

TOTAL PROPERTY AREA: 37,581 Sq.Ft. = 0.9 ACRES
LIMITS OF DISTURBANCE: 42,275 Sq.Ft. = 1.0 ACRES
NPDES PERMIT BOUNDARY: 45,690 Sq.Ft. = 1.0 ACRES

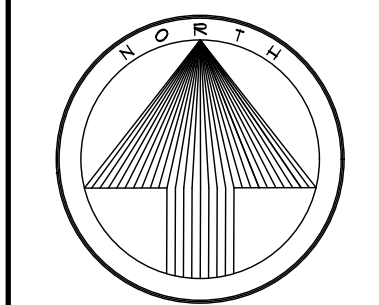
E & S LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LIMIT OF DISTURBED AREA
	SOIL BOUNDARY
	COMPOST FILTER SOCK (SILT-SOXX™), SEE DETAIL ON SHEET C1.4
	ROCK CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET C1.4
	EROSION CONTROL BLANKET, SEE DETAIL ON SHEET C1.4

	SPOIL STOCKPILE
	BLACKHAWK INLET FILTER MAT INLET PROTECTION, SEE DETAIL ON SHEET C1.4
	FILTER SOCK INLET PROTECTION, SEE DETAIL ON SHEET C1.4
	CONCRETE WASHOUT, SEE DETAIL THIS SHEET
	HARLETON CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES
	URBAN LAND-UDULTS COMPLEX



LAND OWNER:	
LEEMILTS PETROLEUM, INC. 292 MADISON AVENUE, 9th FLOOR NEW YORK, NY 10017-6318 (646) 349-0721 JASON OLSEN, SR. DIRECTOR REAL ESTATE	
LESSEE/DEVELOPER:	
AUTOZONE DEVELOPMENT, LLC PROPERTY MANAGEMENT DEPT. 8700 123 SOUTH FRONT STREET P.O. BOX 2198 MEMPHIS, TN 38103 (901) 495-7625 KEVIN MURPHY, PRE-CONSTRUCTION SPECIALIST	
SURVEYOR:	
VALLEY LAND SERVICES, LLC 4383 HECKTOWN ROAD BETHLEHEM, PA 18020 (610) 365-2907 GREGORY C. NOLL, PLS, PA LIC. No. SU075048	
ENGINEER:	
MDM SURVEYORS & ENGINEERS, LLC 375 NORTHGATE DRIVE WARRENDALE, PA 15086 (724) 934-2810 EUGENE S. DVORCHAK, PE, PA LIC. No. PE052940E	

Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
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Prepared For: **AutoZone**
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA
EROSION & SEDIMENTATION CONTROL PLAN

SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	PER BOROUGH & COUNTY COMMENTS
1.	11-30-21	
2.		
3.		
4.		
5.		
6.		
7.		

ARCHITECT: LE
DRAFTSMAN: CWT
CHECKED BY: CAD

DATE
6-25-2021
PROTOTYPE SIZE
7in-R



C1.2

SHEET 6 of 16

PHASING OF SITE DEVELOPMENT
CONSTRUCTION PHASING/SEQUENCE OF SITE DEVELOPMENT:
THE OVERALL SITE-WORK GENERALLY CONSISTS OF EARTHMOVING ACTIVITIES FOR APPROXIMATELY 1,000+ ACRES OF DISTURBED AREA TO PERFORM THE PROPOSED GRADING AND CONSTRUCTION FOR THE PROJECT. IT IS PROPOSED TO APPROXIMATELY PROCEED WITH THE PROJECT IN THE FOLLOWING SEQUENCE:
1. STAKE OUT THE LIMIT OF DISTURBANCE (LOD) FOR THE ACTIVE PORTION OF THE PROJECT. FLAG THE LOD PRIOR TO ANY EARTH DISTURBANCE.
2. INSTALL ALL COMPOST FILTER SOCKS (SLT500XX**) PERIMETER PROTECTION AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN DRAWING.
3. CLEAR AREA FOR ROCK CONSTRUCTION ENTRANCE AND CONSTRUCT TEMPORARY ROCK CONSTRUCTION ENTRANCE ALONG POTTSVILLE ST. CLAIR HIGHWAY, AS SHOWN ON THE PLAN. ANY STRIP DRIVEWAY IS NOT TO BE USED AS A CONSTRUCTION ENTRANCE.
4. CLEAR AND GRUB WORK AREA WITHIN THE IDENTIFIED LIMITS OF DISTURBANCE.
5. PROCEED WITH DEMOLITION OF SITE IMPROVEMENTS NOT TO REMAIN FOR THE ACTIVE PORTION OF THE PROJECT.
6. STRIP AND STOCKPILE SOIL MATERIAL IN LOCATION IDENTIFIED ON THE EROSION AND SEDIMENTATION CONTROL PLAN. PLACE PERIMETER PROTECTION ON DOWN-SLOPE OF THE SOIL STOCKPILE AND COMPLETE PLACEMENT OF COMPOST FILTER SOCKS (SLT500XX**) PROTECTING THE STOCKPILE AREA IMMEDIATELY AFTER STOCKPILING MATERIAL. PROVIDE ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL AS NECESSARY.
7. PROCEED WITH GRADING OPERATIONS. GRADED SLOPES SHOULD BE MULCHED, AS SOON AS PRACTICAL, IN REGULAR, 10-FOOT VERTICAL INCREMENTS. EROSION CONTROL BLANKETS (ECB) MUST BE INSTALLED ON SLOPES AS SOON AS THE SLOPE IS AT GRADE. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES STABILIZATION. IN NO CASE SHOULD A GRASS SEEDING EXCEEDING 15,000 SF, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED.
8. PLACE STONE SUBBASE FOR AREAS TO BE PAVED.
9. CONSTRUCT STORMWATER CONVEYANCE SYSTEMS. LIMIT DAILY TRENCHEX EXCAVATION AND STORM LINE INSTALLATION TO THE LENGTH OF PIPE PLACEMENT, BEDDING, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (WEATHER PERMITTING). NOTE THAT ALL STORM LINES MUST BE INSTALLED FROM DOWNSTREAM TO UPSTREAM. IF REQUIRED, TRENCH PULGS AS PER DETAIL ARE TO BE INSTALLED PER PAPER CHAPTER 102 REQUIREMENTS. IMPORTANT: STORMWATER RUNOFF IS NOT TO BE DIRECTED TO UNPROTECTED STORMWATER CONVEYANCE SYSTEMS UNTIL THE SITE IS AT FINAL GRADE AND STABILIZED.
10. PLACE INLET PROTECTION ON ALL INSTALLED ONSITE INLETS WITHIN THE WORK LIMITS. IMPORTANT: STORMWATER RUNOFF IS NOT TO BE DIRECTED TO UNPROTECTED STORMWATER CONVEYANCE SYSTEMS UNTIL THE SITE IS AT FINAL GRADE AND STABILIZED.
11. BRING SITE TO FINAL GRADE AND PAVE ALL PARKING AREAS AND ACCESS DRIVES RECEIVING INLET PAVING. ALL REMAINING AREAS SHALL RECEIVE TEMPORARY OR PERMANENT SEEDING OR LANDSCAPING IMPROVEMENTS.
12. UTILITIES SERVICING THE SITE THAT ARE WITHIN THE DEVELOPMENT AREA CAN BE CONSTRUCTED WITHIN THE LOCATION THEY ARE TO BE INSTALLED.
13. STRUCTURAL AND BUILDING CONSTRUCTION MAY COMMENCE AFTER AREAS REACH FINAL GRADE ELEVATION.
14. BRING THE SITE TO FINAL GRADE AND PAVE REMAINING PARKING AREAS AND ACCESS DRIVES. ALL REMAINING AREAS THAT WILL NOT RECEIVE LANDSCAPING IMPROVEMENTS SHALL RECEIVE PERMANENT SEEDING AND ALL SEEDED AREAS ARE TO BE MULCHED.
15. AFTER MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE CONTROLS MUST BE IMMEDIATELY STABILIZED. FINAL STABILIZATION IS DEFINED AS THE ACHIEVEMENT OF A MINIMUM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES ON ALL CONTRIBUTORY DRAINAGE AREAS.

CONSTRUCTION SEQUENCE NOTES:

- IN ADDITION TO THE PERMIT APPLICANT, ANYONE PERFORMING ACTIVITIES RESULTING IN ANY EARTH DISTURBANCE IS REQUIRED TO BE ADDED TO THE NPDES PERMIT AS A CO-PERMITTEE.
- ALL PARTIES RESPONSIBLE FOR THE EXCAVATION OF SITE MATERIALS OR THE IMPORT OF FILL MATERIALS ARE RESPONSIBLE TO ENSURE THAT "ENVIRONMENTAL DUE DILIGENCE" IN THE DETERMINATION OF CLEAN FILL MATERIAL IS EITHER REMOVED FROM THE SITE OR USED AS FILL FOR THE SITE. ANY MATERIAL IDENTIFIED AS HAZARDOUS MUST BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL GUIDELINES AND REGULATIONS.
 - ENVIRONMENTAL DUE DILIGENCE - INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENING, ANALYTICAL TESTINGS, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
- NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCARDED AT THE SITE. THE FOLLOWING DEFINE WHAT SHOULD BE CONSIDERED "CONSTRUCTION WASTE" AND "CLEAN FILL":
 - CONSTRUCTION WASTE - INCLUDES BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.
 - CLEAN FILL - UNCONTAMINATED, NON-WATER-SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THIS INCLUDES SOIL, ROCK, STONE DREGGED MATERIAL, USED ASPHALT, AND BROCK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. IT DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE SURFACE WASTES UNLESS THEY ARE MULCHED ASPHALT, OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.
- COMPOST FILTER SOCKS (FILTREXX SLT500XX**) AND ANY OTHER FILTERBIX BMPs EMPLOYED AS PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT MUST FOLLOW THE MANUFACTURER'S DISPOSAL/RECYCLING INSTRUCTIONS FOR EACH SPECIFIC BMP UTILIZED THROUGHOUT THE PROJECT'S CONSTRUCTION AND EARTHMOVING OPERATIONS.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE CONTRIBUTORY DRAINAGE AREAS OF THOSE CONTROLS.
- AFTER FINAL SITE STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE IMMEDIATELY STABILIZED. FINAL STABILIZATION IS DEFINED AS THE ACHIEVEMENT OF A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED ON ALL CONTRIBUTORY DRAINAGE AREAS.
- ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 4 DAYS MUST BE TEMPORARILY STABILIZED. DISTURBED AREAS THAT ARE EITHER AT FINISHED GRADE, OR ANY GRADED AREA OF 15,000 FT² OR MORE REACHES FINAL GRADE, OR WILL NOT BE DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.

PA DEP STANDARD EBS PLAN NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AND ALSO BY CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EBS PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EBS PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE RECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EBS BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EBS PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 3:1 H OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSSIBLE PRESENTING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT THE POTENTIAL POLLUTION FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25A, CODE 2601.1 ET. SEQ. 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCARDED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EBS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM P-901 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, UNDER UNDISTURBED VEGETATED AREAS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANUP, REPAIR, REPLACEMENT, REGRADING, RESEEDING, ROLLING AND RINING, MUST BE REPERFORMED IMMEDIATELY. IF THE EBS BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT EBS BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE REGULATING AGENCY OFFICIALS AT THE TIME OF INSPECTION. THE INSPECTIONS AND MAINTENANCE DATA SHALL BE LOGGED ONTO THE DEPARTMENT FORM 3150-FH-BMVEW0083 (MOST CURRENT VERSION) TO BE USED).
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED IN THIS PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTCROPS SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDING, STRUCTURES, AND CONDUCITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEDS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- EBS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE EBS BMPs.
- AFTER FINAL SITE STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL EBS BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF EBS BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

ADDITIONAL NOTES:

- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

GENERAL SEEDING SPECIFICATIONS
THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RECOMMENDS USING THE PENN STATE "EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROP LAND" MANUAL AS A REFERENCE FOR SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING, AND SEEDING METHODS. SPECIFICATIONS FOR THESE ITEMS MAY ALSO BE OBTAINED FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 400, SECTION 804 OR BY CONTACTING THE APPLICABLE COUNTY CONSERVATION DISTRICT.
VEGETATED AREAS WILL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES IS ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BEST MANAGEMENT PRACTICE ("BMP") WHICH PERMANENTLY MINIMIZES EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPs THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED.

TEMPORARY SEEDING SPECIFICATIONS				
PRELIMINARY PREPARATION: ALL AREAS THAT WILL BE SEEDDED MUST BE LOOSESED USING MECHANICAL MEANS. SOIL MUST BE LOOSESED TO A DEPTH OF AT LEAST TWO INCHES.				
LIME AND FERTILIZER: APPLY 1 TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE AND FERTILIZER AS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL GRADE LIMESTONE AT A RATE OF 1 TON PER ACRE, AND APPLY FERTILIZER AT 500 POUNDS OF 10-10-10 FERTILIZER PER ACRE (E.G., 166.67 POUNDS NITROGEN (N), 166.67 POUNDS PHOSPHORUS (P ₂ O ₅), AND 166.67 POUNDS POTASSIUM (K ₂ O) PER ACRE. WORK LINE AND FERTILIZER INTO SOIL WHERE POSSIBLE. LIME AND FERTILIZER MUST BE OBTAINED FROM THE PAPER EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLE 11.2.				
SEED: ALL SEED MUST BE ASSURED A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE RECOMMENDED BY AN EROSION AND SEDIMENTATION CONTROL SPECIALIST. THE TOTAL GERMINATION OUTLINED BELOW. SEED DATA WAS OBTAINED FROM THE PAPER EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.				
SPECIES	PURITY (%)	READY GERMINATION (%)	TOTAL GERMINATION (%)	PURE LIVE SEED ¹ SEEDING RATE (LBS/ACRE)
SPRING-SUMMER				
SPRING GRASS, OR	98	85	85	64
ANNUAL RYEGRASS	95	85	85	10
SUMMER-FALL				
ANNUAL RYEGRASS, OR	95	85	85	10
WINTER RYE, OR	98	85	85	56
WINTER WHEAT	98	85	85	90

- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY 100% (95% PURITY X 85% GERMINATION = 80.75% PLANTING EFFICIENCY). THIS YIELDS A SEEDING RATE OF 12.5 LBS/ACRE. IF THE PLS SEEDING RATE IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.
- MULCH: ALL SEEDED AREAS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN OAT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.
- APPLY MULCH AT A RATE OF 3 TONS PER ACRE (I.E., 140 POUNDS PER 1,000 SQUARE FEET OR 1,240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED IMMEDIATELY AFTER APPLICATION. A TRACTOR DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE COUNTER.

PERMANENT SEEDING SPECIFICATIONS

PRELIMINARY PREPARATION: GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISH GRADE (I.E., 8 INCHES FOR BASIN EMBANKMENTS WHEN APPLICABLE). PLACE TOPSOIL OVER SPECIFIED AREAS. TOPSOIL SHOULD BE AT A GREATER THICKNESS (I.E., GENERALLY 6 TO 10 INCHES) THAN THE FINISHED GRADE TO ALLOW FOR SETTLEMENT AND LIGHT ROLLING. THE FINAL COVER MUST CONFORM TO THE PROPOSED LINES, GRADES AND ELEVATIONS.

LIME AND FERTILIZER: APPLY AGRICULTURAL-GRADE LIMESTONE AND FERTILIZER AS PER THE RECOMMENDATIONS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL-GRADE LIMESTONE AT A RATE OF 6 TONS PER ACRE, AND APPLY 1,000 POUNDS OF 10-20-20 FERTILIZER (E.G., 200 POUNDS NITROGEN (N), 400 POUNDS PHOSPHORUS (P₂O₅), AND 400 POUNDS POTASSIUM (K₂O) PER ACRE). WORK LIME AND FERTILIZER INTO SOIL WHERE POSSIBLE. LIME AND FERTILIZER DATA WAS OBTAINED FROM THE PAPER EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLE 11.2. NOTE: A COMPOST BLANKET WHICH MEETS THE STANDARDS OF CHAPTER 11.1 OF THE PAPER EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL MARCH 2012 (BMP MANUAL) MAY BE SUBSTITUTED FOR THE SOIL AMENDMENTS SHOWN IN TABLE 11.2.

THE FERTILIZER AND LIMESTONE MUST BE THOROUGHLY INCORPORATED INTO THE SOIL BY MECHANICAL MEANS (E.G., ROTOTILLING) TO A MINIMUM DEPTH OF 4 INCHES.

THE ENTIRE SURFACE MUST THEN BE REGRADED AND ROLLED. ALL AREAS THAT WILL BE SEEDDED MUST BE LOOSESED USING MECHANICAL MEANS. SOIL MUST BE LOOSESED TO A DEPTH OF AT LEAST TWO INCHES.

- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR REEDTOP, DIVIDE THE PLS SEEDING RATE OF 3 LBS/ACRE BY THE PLS SHOWN ON TAG. THIS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 3 PLS BY 0.60 TO OBTAIN 5.0 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.
- USE KENTUCKY 31 TALL FESCUE FOR LOW MAINTENANCE SITES OR TURP-TYPE TALL FESCUE FOR HIGH MAINTENANCE SITES.
- MULCH: ALL SEEDED AREAS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN OAT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.
- APPLY MULCH AT A RATE OF 3 TONS PER ACRE (I.E., 140 POUNDS PER 1,000 SQUARE FEET OR 1,240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED IMMEDIATELY AFTER APPLICATION. A TRACTOR DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE COUNTER.

STEEP SLOPE SEEDING SPECIFICATIONS				
STEEP SLOPE SEEDING MIXTURE (FOR USE ON GRADES AT 3:1 OR GREATER SLOPES): ALL SLOPES GREATER THAN 3:1 SHALL BE COVERED WITH AN EROSION CONTROL BLANKET IN ADDITION TO RECEIVING A GRASS SEED MIXTURE.				
WHEN CONDITIONS PERMIT, THE FOLLOWING SEEDING MIXTURE CAN BE UTILIZED ON STEEP SLOPES. SEED DATA WAS OBTAINED FROM THE PAPER EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.4 AND 11.5.				
SPECIES	PURITY (%)	READY GERMINATION (%)	TOTAL GERMINATION (%)	PURE LIVE SEED ¹ SEEDING RATE (LBS/ACRE)
ANNUAL RYEGRASS	95	85	85	10
BIRDFOOT TREFOIL	98	60	60	6
TALL FESCUE	95	80	80	30

- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY 100% (95% PURITY X 85% GERMINATION = 80.75% PLANTING EFFICIENCY). THIS YIELDS A SEEDING RATE OF 12.5 LBS/ACRE. IF THE PLS SEEDING RATE IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.

MAINTENANCE PROGRAM
MAINTENANCE OF TEMPORARY CONTROLS: MAINTAIN TEMPORARY CONTROL MEASURES THROUGHOUT THE PROJECT PERIOD AS OUTLINED IN THE "MAINTENANCE SCHEDULE" SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE.
IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO PERFORM INSPECTIONS OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES TO ENSURE THAT THEY ARE WORKING PROPERLY. THESE INSPECTIONS MUST BE CONDUCTED WEEKLY, AND DURING OR IMMEDIATELY AFTER EVERY RUNOFF EVENT. INSPECTIONS WILL BE LOGGED ONTO DEPARTMENT FORM 3150-FH-BMVEW0083 (MOST RECENT VERSION) AND WILL BE KEPT ON SITE AT ALL TIMES. THE INSPECTION WILL INCLUDE, BUT NOT BE LIMITED TO:
1) INSPECT ALL CONTROLS (INCLUDING COMPOST FILTER SOCKS) AND REPAIR OR REPLACE AS NEEDED.
2) INSPECT ALL SLOPES FOR SIGNS OF EROSION AND/OR SEDIMENTATION, AND REPAIR AS NEEDED.
3) INSPECTION OF ALL SEEDED AREAS FOR SIGNS OF EROSION.
4) INSPECTION OF ALL INLET PROTECTION UNTIL THE CONTRIBUTORY DRAINAGE AREA TO THE CORRESPONDING INLET IS STABILIZED.
5) CLEANING AND REPAIR OF THE ROCK CONSTRUCTION ENTRANCE.
REPAIRS AND MAINTENANCE FOR ANY EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE PERFORMED AS SOON AS THE OPERATIONS CAN BE SAFELY AND PRACTICALLY CARRIED OUT.
AN ADEQUATE SUPPLY OF ADDITIONAL EROSION/SEDIMENTATION CONTROL MATERIALS (E.G., STRAW BALES, EROSION NETTING, PLASTIC COVERING, WIRE MESH, SAND AND BURLAP, SANDBAGS, ROCKS AND GRAVEL) MUST BE STOCKPILED ON-SITE. THESE SUPPLIES MUST BE USED FOR EMERGENCY REPAIRS TO/OR REPAIRS OF EXISTING SOIL EROSION AND SEDIMENTATION CONTROLS.
MAINTENANCE OF PERMANENT CONTROLS: THE OWNER/DEVELOPER WILL MAINTAIN PERMANENT CONTROL FACILITIES.
CLEANING FREQUENCY AND ULTIMATE DISPOSAL OF WASTE: CLEANING FREQUENCIES ARE SPECIFIED WITHIN THE MAINTENANCE SCHEDULE. SILT AND SEDIMENT REMOVED FROM ALL CONTROL MEASURES SHOULD BE MIXED WITH SOIL DURING EARTHWORK AND PROPERLY DISPOSED OF ON-SITE.

ON-SITE SEDIMENT CONTROL PLAN MAINTENANCE SCHEDULE			
CONTROL MEASURE	INSPECT	PROBLEMS	POSSIBLE REMEDIES (TO BE PERFORMED WITHIN 24 HOURS OR AS SOON AS SAFELY PRACTICAL.)
VEGETATION	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	SEDIMENT AT TOE OF SLOPE RILLS AND GULLIES FORMING BARE SOIL PATCHES	CHECK FOR TOE OF SLOPE DIVERSION AND INSTALL IF NEEDED. FILL RILLS AND REGRADE GULLED SLOPES. RESEED, FERTILIZE AND MULCH BARE AREAS.
COMPOST FILTER SOCK (SILT500XX)	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	RUNOFF ESCAPING AROUND BARRIER SEDIMENT LEVEL BUILDUP	SECURELY ANCHOR WITH PROPER STAPLES. EXTEND BARRIER AS NEEDED. REMOVE SEDIMENT WHEN LEVEL REACHES HALF (1/2) THE HEIGHT OF THE BARRIER.
INLET PROTECTION - FOR BLACKHAWK INLET FILTER MAT	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	SEDIMENT BUILD-UP REDUCING FLOW CAPACITY RESULTING IN FLOODING AROUND OR BELOW INLET OR COMPRESSION OF FILTER MAT	REMOVE ACCUMULATED SEDIMENT, IF FLOW CAPACITY IS STILL REDUCED OR MAT REMAINS COMPRESSED, REPLACEMENT OF FILTER MAT IS REQUIRED.
		MISSING MATERIAL GENERAL MAINTENANCE	REPAIR OR REPLACE PROTECTION MATERIALS AS NEEDED. AS NEEDED, INLET FILTER MATS SHALL BE LIFTED AND RINSED OR REPLACED IF DAMAGED.
("SILT SACK" - ONLY)		WATER BY-PASSING INLET AND GRADE	REMOVE "SILT SACK" AND REMOVE SILT OR REPLACE WITH NEW "SILT SACK" OR INSTALL BLOCK AND GRAVEL PROTECTION.
PUMPED WATER FILTER BAG	DAILY AND AFTER EACH USE	BAG IS HALF FULL BAG IS CLOGGED OR FLOW IS REDUCED	REPLACE BAG. REPLACE BAG.
ROCK CONSTRUCTION ENTRANCE	DAILY AND AFTER EACH RUNOFF EVENT	LOST AND/OR DISLOADED STONES SEDIMENT DEPOSITED ON PAVED ROADWAYS	REPLACE MISSING STONES SO AS TO MAINTAIN SPECIFIED DIMENSIONS. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE RETURNED TO THE CONSTRUCTION SITE.
EROSION CONTROL BLANKETS (ECB)	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	SCOUR BENEATH NETTING	RE-INSTALL PROPER ECB MATERIAL AND RE-GRADE BEDDING. MAKE SURE MATERIAL IS INSTALLED AND ANCHORED AS PER THE MANUFACTURER'S RECOMMENDATIONS. RE-SEED IF NECESSARY.
COMPOST SOCK CONCRETE WASHOUT	DAILY AND AFTER EACH USE	DAMAGED OR LEAKING	DEACTIVATE WASHOUT AND REPAIR OR REPLACE IMMEDIATELY.
		ACCUMULATED MATERIALS ARE > 75% CAPACITY	REMOVE EXCESS ACCUMULATED MATERIALS WHEN 75% CAPACITY IS REACHED. REPLACE PLASTIC LINING WITH EACH CLEANING OF THE WASHOUT FACILITY.

- ### GENERAL NOTES - NPDES PERMIT REQUIREMENTS
- IN ADDITION TO THE PERMIT APPLICANT, ANYONE PERFORMING ACTIVITIES RESULTING IN ANY EARTH DISTURBANCE IS REQUIRED TO BE ADDED TO THE NPDES PERMIT AS A CO-PERMITTEE.
- IMPORTANT - POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT FILING NOTICE: THE PERMITTEE OR CO-PERMITTEE SHALL RECORD, WITH THE RECORDS OF DEEDS OFFICE, THE INSTRUMENT WITHIN 45 DAYS FROM THE DATE OF THE NPDES PERMIT ISSUANCE OR AUTHORIZATION, AND SHALL PROVIDE THE CONSERVATION DISTRICT AND THE PADEP WRITER DOCUMENTATION CONTAINING THE DATE AND PLACE OF RECORDING ALONG WITH A REFERENCE TO THE DOCKET, DEED BOOK OR OTHER RECORD, WITHIN 90 DAYS FROM THE DATE OF THE NPDES PERMIT ISSUANCE OR AUTHORIZATION.
- ANY PROJECT WHICH RESULTS IN EARTH DISTURBANCE ACTIVITIES THAT DISTURB EQUAL TO OR GREATER THAN ONE (1) ACRE IS SUBJECT TO PADEP APPROVAL OF COVER PLAN. SUCH PROJECTS MUST BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS OF CHAPTER 11.1 OF THE PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL MARCH 2012 (BMP MANUAL) MAY BE SUBSTITUTED FOR THE SOIL AMENDMENTS SHOWN IN TABLE 11.2.
- THE FERTILIZER AND LIMESTONE MUST BE THOROUGHLY INCORPORATED INTO THE SOIL BY MECHANICAL MEANS (E.G., ROTOTILLING) TO A MINIMUM DEPTH OF 4 INCHES.
- THE ENTIRE SURFACE MUST THEN BE REGRADED AND ROLLED. ALL AREAS THAT WILL BE SEEDDED MUST BE LOOSESED USING MECHANICAL MEANS. SOIL MUST BE LOOSESED TO A DEPTH OF AT LEAST TWO INCHES.
- SEED: SEEDING MUST BE CONDUCTED AS TWO SEPARATE OPERATIONS. THE FIRST SEEDING OPERATION MUST BE COMPLETED PRIOR TO STARTING THE SECOND SEEDING OPERATION. THE SECOND SEEDING MUST BE COMPLETED PRIOR TO BEGINNING THE FIRST SEEDING AND AT RIGHT ANGLES TO THE FIRST SEEDING. THE SEEDS MUST BE LIGHTLY BAKED INTO THE SOIL.
- ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 100% PURITY BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OUTLINED BELOW. SEED DATA WAS OBTAINED FROM THE PAPER EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.
- SEED: SEEDING MUST BE CONDUCTED AS TWO SEPARATE OPERATIONS. THE FIRST SEEDING OPERATION MUST BE COMPLETED PRIOR TO STARTING THE SECOND SEEDING OPERATION. THE SECOND SEEDING MUST BE COMPLETED PRIOR TO BEGINNING THE FIRST SEEDING AND AT RIGHT ANGLES TO THE FIRST SEEDING. THE SEEDS MUST BE LIGHTLY BAKED INTO THE SOIL.
- THE ENTIRE SURFACE MUST THEN BE REGRADED AND ROLLED. ALL AREAS THAT WILL BE SEEDDED MUST BE LOOSESED USING MECHANICAL MEANS. SOIL MUST BE LOOSESED TO A DEPTH OF AT LEAST TWO INCHES.
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- ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 100% PURITY BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OUTLINED BELOW. SEED DATA WAS OBTAINED FROM THE PAPER EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.
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- ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 10

<div></div> <p>* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE</p> <p>REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.</p> <p>MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.</p> <p>MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.</p> <p>NOT TO SCALE</p>	<div></div> <p>NOTES:</p> <ul style="list-style-type: none">- PRIOR TO INSTALLATION, INLET GRATE SURFACE AND SURROUNDING AREA SHALL BE CLEANED AND CLEARED OF DEBRIS. INLET FILTER MAT SHALL BE INSTALLED WITH A MINIMUM 2" OVERLAP FROM EDGE OF GRATE TO EDGE OF MAT. ADJUST MAT BY HAND UNTIL PLACEMENT ALLOWS FOR OPTIMAL MAGNETIC ADHESION TO GRATE SURFACE.- PRE-INSTALLED RED EMERGENCY DEWATERING PLUGS CAN BE REMOVED IN THE EVENT OF FLOODING TO ALLOW FOR RAPID DEWATERING. AFTER DEWATERING, THE INLET FILTER MAT SHALL BE LIFTED AND THOROUGHLY CLEANED OR REPLACED AND THE EMERGENCY DEWATERING PLUGS SHALL BE REINSTALLED. IF GRATE IS AT LOWEST POINT OF STREET, REMOVAL OF ONE PLUG WILL ALLOW FOR EXPEDITED DEWATERING AT ALL TIMES.- INLET FILTER MATS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. AS NEEDED, INLET FILTER MATS SHALL BE LIFTED AND RINSED OR REPLACED. WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET OR THE INLET FILTER MAT BECOMES COMPRESSED DUE TO HEAVY TRAFFIC, REPLACEMENT IS REQUIRED.- A SUPPLY OF SPARE INLET FILTER MATS SHALL BE MAINTAINED ON SITE. ALL NECESSARY REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED MATS ACCORDING TO THE PLAN NOTES.- INLET FILTER MATS ARE MADE FROM A COMPOSTABLE COCONUT COIR. MAGNETS ARE RUBBER WITH FERROUS OXIDE SIZES OF GRATES CAN VARY. INLET FILTER MAT CAN BE CUSTOM FIT ACCORDING TO APPLICATION. <p>NOT TO SCALE</p>	<div></div> <p>MAXIMUM SPACING AND MATERIALS FOR TRENCH PLUGS</p> <table><tr><th>TRENCH SLOPE (%)</th><th>SPACING (FT)</th><th>PLUG MATERIAL</th></tr><tr><td>< 5</td><td>1,000</td><td>* CLAY, BENTONITE, OR CONCRETE FILLED SACKS</td></tr><tr><td>5 - 15</td><td>500</td><td>* CLAY, BENTONITE, OR CONCRETE FILLED SACKS</td></tr><tr><td>15 - 25</td><td>300</td><td>* CLAY, BENTONITE, OR CONCRETE FILLED SACKS</td></tr><tr><td>25 - 35</td><td>200</td><td>* CLAY, BENTONITE, OR CONCRETE FILLED SACKS</td></tr><tr><td>35 - 100</td><td>100</td><td>* CLAY, BENTONITE, OR CONCRETE FILLED SACKS</td></tr><tr><td>> 100</td><td>50</td><td>CEMENT FILLED BAGS (WETTED) OR MORTARED STONE</td></tr></table> <p>*TOPSOIL MAY NOT BE USED TO FILL SACKS</p> <p>IMPERVIOUS TRENCH PLUGS ARE REQUIRED FOR ALL STREAM, RIVER, WETLAND, OR OTHER WATER BODY CROSSINGS.</p> <p>NOT TO SCALE</p>	TRENCH SLOPE (%)	SPACING (FT)	PLUG MATERIAL	< 5	1,000	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS	5 - 15	500	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS	15 - 25	300	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS	25 - 35	200	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS	35 - 100	100	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS	> 100	50	CEMENT FILLED BAGS (WETTED) OR MORTARED STONE	<div></div> <p>NOTES:</p> <ol style="list-style-type: none">1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.2. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.3. 18" FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.4. NO WASH WATER FROM VEHICLES IS ALLOWED TO ENTER ANY SURFACE WATER.5. WASHOUT SHOULD NOT BE PLACED WITHIN 50 FT. OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. <p>NOT TO SCALE</p>	<div></div> <p>NOT TO SCALE</p>																																																										
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<div><p>SEDIMENT BARRIER ALIGNMENT</p></div> <p>SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2. (PA DEP EROSION & SEDIMENT CONTROL MANUAL.)</p> <p>COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.</p> <p>TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.</p> <p>ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.</p> <p>SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.</p> <p>BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR.</p> <p>POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.</p> <p>UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS SOIL SUPPLEMENT.</p> <p>TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS</p> <table><tr><th>MATERIAL TYPE</th><th>3 mil HDPE</th><th>5 mil HDPE</th><th>5 mil HDPE</th><th>MULTI-FILAMENT POLYPROPYLENE (MFPP)</th><th>HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMFPP)</th></tr><tr><td>MATERIAL CHARACTERISTICS</td><td>PHOTO-DEGRADABLE</td><td>PHOTO-DEGRADABLE</td><td>BIO-DEGRADABLE</td><td>PHOTO-DEGRADABLE</td><td>PHOTO-DEGRADABLE</td></tr><tr><td>SOCK DIAMETERS</td><td>12" 18"</td><td>12" 18" 24" 32"</td><td>12" 18" 24" 32"</td><td>12" 18" 24" 32"</td><td>12" 18" 24" 32"</td></tr><tr><td>MESH OPENING</td><td>3/8"</td><td>3/8"</td><td>3/8"</td><td>3/8"</td><td>1/8"</td></tr><tr><td>TENSILE STRENGTH</td><td></td><td>26 PSI</td><td>26 PSI</td><td>44 PSI</td><td>202 PSI</td></tr><tr><td>ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)</td><td>23% AT 1000 HR.</td><td>23% AT 1000 HR.</td><td></td><td>100% AT 1000 HR.</td><td>100% AT 1000 HR.</td></tr><tr><td>MINIMUM FUNCTIONAL LONGEVITY</td><td>6 MONTHS</td><td>9 MONTHS</td><td>6 MONTHS</td><td>1 YEAR</td><td>2 YEARS</td></tr></table> <p>TWO-PLY SYSTEMS</p> <table><tr><th>INNER CONTAINMENT NETTING</th><th>HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES</th></tr><tr><td>OUTER FILTRATION MESH</td><td>3/4" x 3/4" MAX. APERTURE SIZE COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)</td></tr></table> <p>SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.</p> <p>FILTREXX & JMD</p>	MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMFPP)	MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"	TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI	ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.	MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS	INNER CONTAINMENT NETTING	HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES	OUTER FILTRATION MESH	3/4" x 3/4" MAX. APERTURE SIZE COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)	<div><p>COMPOST FILTER SOCK IN PAVEMENT AREA*</p></div> <p>* WHERE SOCKS ARE PLACED ON PAVED SURFACES, CONCRETE BLOCKS SHALL BE USED IMMEDIATELY DOWNSLOPE OF THE SOCKS (AT THE SAME INTERVALS RECOMMENDED FOR THE STAKES) TO HELP HOLD THE SOCK IN PLACE.</p> <div></div> <p>COMPOST SHOULD BE A WELL DECOMPOSED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, STUMP GRINDINGS, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE AEROBICALLY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (<1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.</p> <p>THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4.2. THE STANDARDS CONTAINED IN THE PennDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.</p> <p>TABLE 4.2 COMPOST STANDARDS</p> <table><tr><th>ORGANIC MATTER CONTENT</th><th>25% - 100% (DRY WEIGHT BASIS)</th></tr><tr><td>ORGANIC PORTION</td><td>FIBROUS AND ELONGATED</td></tr><tr><td>pH</td><td>5.5 - 8.5</td></tr><tr><td>MOISTURE CONTENT</td><td>30% - 60%</td></tr><tr><td>PARTICLE SIZE</td><td>30% - 50% PASS THROUGH 3/8" SIEVE</td></tr><tr><td>SOLUBLE SALT CONCENTRATION</td><td>5.0 dS/m (mmhos/cm) MAXIMUM</td></tr></table> <p>NOT TO SCALE</p>	ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)	ORGANIC PORTION	FIBROUS AND ELONGATED	pH	5.5 - 8.5	MOISTURE CONTENT	30% - 60%	PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE	SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM	<div><p>LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Y" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:</p><table><tr><th>PROPERTY</th><th>TEST METHOD</th><th>MINIMUM STANDARD</th></tr><tr><td>AVG. WIDE WIDTH STRENGTH</td><td>ASTM D4884</td><td>60 LB/IN</td></tr><tr><td>GRAB TENSILE</td><td>ASTM D4632</td><td>205 LB</td></tr><tr><td>PUNCTURE</td><td>ASTM D4833</td><td>110 LB</td></tr><tr><td>MULLEN BURST</td><td>ASTM D3786</td><td>350 PSI</td></tr><tr><td>UV RESISTANCE</td><td>ASTM D4355</td><td>70%</td></tr><tr><td>AOS % RETAINED</td><td>ASTM D4751</td><td>80 SIEVE</td></tr></table><p>A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/4 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL. UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.</p><p>BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.</p><p>NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.</p><p>THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.</p><p>THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/3 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.</p><p>FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.</p><p>NOT TO SCALE</p></div>	PROPERTY	TEST METHOD	MINIMUM STANDARD	AVG. WIDE WIDTH STRENGTH	ASTM D4884	60 LB/IN	GRAB TENSILE	ASTM D4632	205 LB	PUNCTURE	ASTM D4833	110 LB	MULLEN BURST	ASTM D3786	350 PSI	UV RESISTANCE	ASTM D4355	70%	AOS % RETAINED	ASTM D4751	80 SIEVE	<div></div> <p>1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.</p> <p>2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.</p> <p>3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.</p> <p>4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET. (FOR NA GREEN "S75" USE STAPLE PATTERN "C").</p> <p>5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.</p> <div></div> <p>1.15 STAPLES PER SQ. YD. (1.35 STAPLES PER SQ. M) For blankets with the optional North American Green DOT System™ place staples/stakes through each of the RED colored dots. STAPLE PATTERN "B"</p> <p>NOT TO SCALE</p>	<div><p>5 FILTER SOCK INLET PROTECTION @ SQUARE STORM INLET</p></div>
MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMFPP)																																																																														
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UV RESISTANCE	ASTM D4355	70%																																																																																	
AOS % RETAINED	ASTM D4751	80 SIEVE																																																																																	
<div><p>6 COMPOST FILTER SOCK</p></div>	<div><p>7 PUMPED WATER FILTER BAG</p></div>	<div><p>8 EROSION CONTROL BLANKET (SLOPE)</p></div>																																																																																	

Owner / Developer:

AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017

PREPARED FOR:

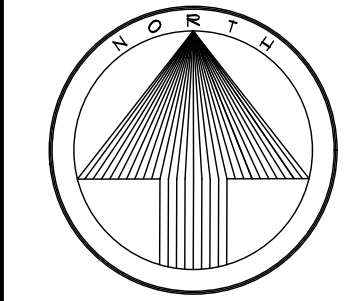
Store No.: 2800
488 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA

EROSION & SEDIMENTATION CONTROL DETAILS

SCALE: AS NOTED

REVISIONS

1.	11-30-21	PER BOROUGH & COUNTY COMMISSIONERS
2.		
3.		
4.		
5.		





SITE LOCATION MAP
SCALE: 1"=2,000'

SYMBOLS

- | | | |
|---------------------------|--------------------------|--------------------------------|
| ● MONUMENT FOUND | ⊕ POWERPOLE | ⊕ SEWER MANHOLE |
| ○ MONUMENT SET | ⊕ GUY WIRE | ⊕ CLEAN OUT |
| ■ P.K. NAIL FOUND | ⊕ LIGHT POLE | ⊕ STORM DRAIN MANHOLE |
| × P.K. NAIL SET | ⊕ STREET LIGHT POLE | ⊕ STORM INLET |
| × FND X MARK | ⊕ ELEC. TRANSFORMER | ⊕ CURB INLET |
| × SET X MARK | ⊕ AIR CONDITIONER | ⊕ PAY PHONE |
| ▲ R.R. SPIKE FOUND | ⊕ BURIED ELECTRIC | ⊕ TELEPHONE BOX |
| △ R.R. SPIKE SET | ⊕ OVERHEAD ELECTRIC | ⊕ TELEPHONE MANHOLE |
| ⊕ BENCHMARK | ⊕ ELEC. MANHOLE | ⊕ TELEPHONE POLE |
| (R) RECORD DATA | ⊕ ELECTRIC METER | ⊕ TELEPHONE LINE |
| (M) MEASURED DATA | ⊕ WATER LINE | ⊕ UNDERGROUND TELEPHONE MARKER |
| (S) SURVEYED DATA | ⊕ WATER MANHOLE | ⊕ CABLE TELEVISION |
| R/W RIGHT OF WAY | ⊕ WATER VALVE | ⊕ CABLE BOX |
| BSL BACK SET LINE | ⊕ WATER METER | ⊕ UNDERGROUND CABLE MARKER |
| RCP REINFORCED CONC PIPE | ⊕ HYDRANT | ⊕ TRAFFIC POLES |
| CMP CORRUGATED METAL PIPE | ⊕ BACK FLOW PREVENTOR | ⊕ TRAFFIC SIGNAL |
| PVC PLASTIC PIPE | ⊕ GAS VALVE | ⊕ TRAFFIC MANHOLE |
| MTL METAL | ⊕ GAS METER | ⊕ TRAFFIC SIGNAL BOX |
| ABL ABOVE GROUND LEVEL | ⊕ UNDERGROUND GAS MARKER | ⊕ STOP SIGN |
| L/S LANDSCAPING | ⊕ GAS MANHOLE | ⊕ SIGN |
| ○ TREE | ⊕ GAS LINE | |
| ○ MTL TANK COVER | ⊕ BOLLARD | |
| | ⊕ BORE HOLE | |
| | ⊕ MONITORING WELL | |
| | ⊕ MAIL BOX | |
| | ⊕ UNKNOWN MANHOLE | |
| | ⊕ SQUARE METAL LID | |
| | ⊕ FUEL TANK LID | |
| | ⊕ FLAG POLE | |

DEMOLITION NOTES

- CONTRACTOR TO REVIEW PHASE II REPORT FOR SITE AND TO BE FAMILIAR WITH ANY AND ALL MATERIALS THAT MAY BE ENCOUNTERED OR OUTLINED IN PHASE II REPORT.
- ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
- WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE SO AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
- REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT. CUT AND CAP ALL UNDERGROUND LINES AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL, INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.
- BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE SOILS REPORT.
- GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY, PRIOR TO THE FINAL CONTRACT EXECUTION, IF ANY BUILDING STRUCTURE THAT IS NOTED TO BE REMOVED HAS A BASEMENT. IF SO THE BUILDING STRUCTURE, BOTH FLOOR STRUCTURES, BASEMENT, FOUNDATION, ETC. ARE TO BE REMOVED AND BACKFILLED TO EXISTING GRADE ELEVATIONS SURROUNDING THE EXISTING STRUCTURE.
- DEMOLITION SHOULD NOT BEGIN UNTIL E&S CONTROLS HAVE BEEN COMPLETED.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL TEMPORARY CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC. TO PROVIDE A SECURE WORK SITE, AND PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION OPERATIONS. COORDINATE INSTALLATION OF FENCING, BARRICADES, SIGNS, ETC., WITH LAND OWNER, LOCAL MUNICIPALITY AND AUTOZONE CONSTRUCTION MANAGER.
- GENERAL CONTRACTOR TO CONFIRM LOCATION, SIZE, ETC., OF SANITARY LATERAL SERVICES TO ALL STRUCTURES PROPOSED TO BE DEMOLISHED, AND COORDINATE REMOVAL WITH SANITARY AUTHORITY. REMOVE ALL LATERALS, CLEANOUTS, ETC., AND PLUG AND CAP LATERALS IN ACCORDANCE WITH SANITARY AUTHORITY REQUIREMENTS.
- GENERAL CONTRACTOR TO DETERMINE LOCATION, SIZE, CONNECTION, ETC., OF ANY STORM DOWNSPOUTS AND STORM LATERALS TO ALL STRUCTURES PROPOSED TO BE DEMOLISHED, AND REMOVE AS REQUIRED. PLUG AND CAP ANY STORM LATERAL CONNECTIONS TO CITY STORM/SANITARY MAINS IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- EXCAVATED SOIL FROM UNDERGROUND STORAGE TANK REMOVAL TO BE TESTED PER PADEP REQUIREMENTS, AND REMOVED TO AN APPROVED FACILITY. IF CONTAMINATION IS PRESENT, SITE MUST BE CLEANED UP IN ACCORDANCE WITH REQUIRED CORRECTIVE ACTION PROCEDURES. SEE PADEP CLOSURE REQUIREMENTS FOR UNDERGROUND STORAGE TANK SYSTEMS, TECHNICAL GUIDANCE NO. 263-4500-601, AND PADEP BUREAU OF ENVIRONMENTAL CLEAN-UP AND BROWNFIELDS, DIVISION OF STORAGE TANKS, 2630-BK-DEP 4699, REV. 9/2020 OR MOST CURRENT VERSION.

UTILITY SERVICE INFORMATION

ELECTRIC SERVICE
PPL ELECTRIC UTILITIES
220 MOREA ROAD
FRACKVILLE, PA 17931
570-459-7368
MR. BRENDAN DOTY
W.O #58539704

SANITARY SEWER SERVICE
SAINT CLAIR SEWER AUTHORITY
16 SOUTH THIRD STREET
SAINT CLAIR, PA 17970
570-429-0640
MR. JOE COLLINS

BENESCH ENGINEERING
400 ONE NORWEGIAN PLAZA
POTTSVILLE, PA 17901
570-624-4286
MR. CHRIS MCCOACH

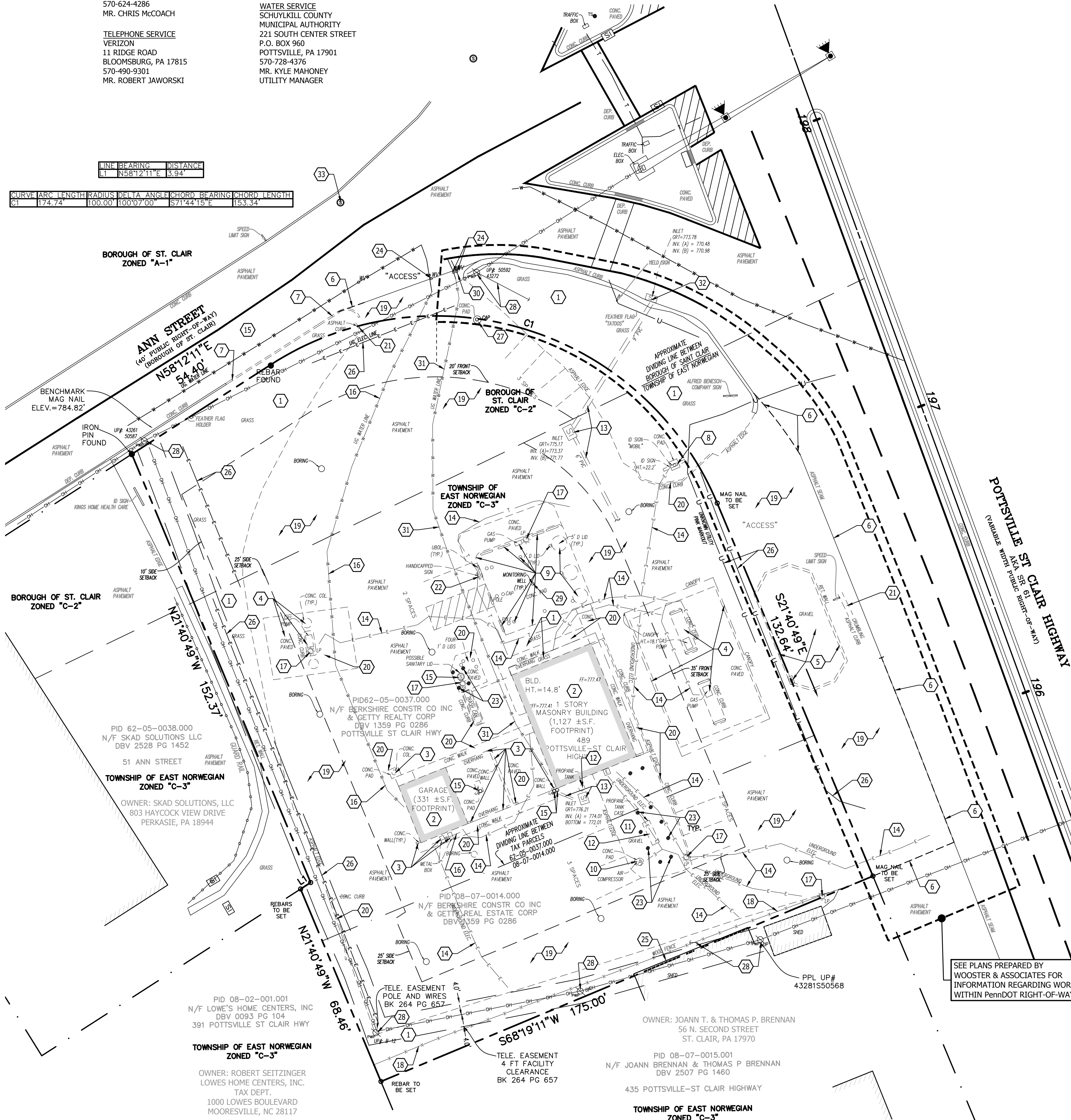
TELEPHONE SERVICE
VERIZON
11 RIDGE ROAD
BLOOMSBURG, PA 17815
570-490-9301
MR. ROBERT JAWORSKI

GAS SERVICE
NATURAL GAS SERVICE IS NOT AVAILABLE TO THIS SITE.

STORM SEWER
SCHUYLKILL COUNTY
PLANNING OFFICE
401 NORTH SECOND STREET
POTTSVILLE, PA 17901
610-871-4167

PennDOT DISTRICT 5-0
1002 HAMILTON STREET
ALLEN TOWN, PA 18101
610-871-4167
MR. BRETT KLINGEL,
DISTRICT PERMIT MANAGER

WATER SERVICE
SCHUYLKILL COUNTY
MUNICIPAL AUTHORITY
221 SOUTH CENTER STREET
P.O. BOX 960
POTTSVILLE, PA 17901
570-728-4376
MR. KYLE MAHONEY
UTILITY MANAGER



DEMOLITION KEYNOTES

- CLEAR AND GRUB SITE, AS REQUIRED, FOR NEW SITE IMPROVEMENTS. SEE E&S PLAN FOR LIMITS OF DISTURBANCE.
- REMOVE EXISTING BUILDING/GARAGE, INCLUDING FLOOR SLAB AND FOUNDATION, AND PREP FOR NEW BUILDING OR PAVEMENT.
- REMOVE EXISTING CONCRETE WALL, COLUMN, OVERHANG AND METAL BOXES, AND PREP FOR NEW BUILDING OR PAVEMENT.
- REMOVE EXISTING GAS PUMP ISLAND, INCLUDING CONCRETE ISLAND, GAS PUMPS, U-BOLLARDS, COLUMNS AND CANOPY, AND PREP FOR NEW GRADING OR PAVEMENT.
- REMOVE EXISTING RETAINING WALL, MAIL BOX AND ROCK FILL, AND PREP FOR NEW GRADING.
- LIMIT OF SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, AND PREP FOR NEW GRADING OR PAVEMENT. PROTECT REMAINING EDGE OF ROADBED.
- SAWCUT AND REMOVE EXISTING CONCRETE CURB, AND PREP FOR NEW CONCRETE CURB CONNECTION.
- REMOVE EXISTING PYLON SIGN, INCLUDING CONCRETE PAD, BASE, POLE AND WIRING.
- REMOVE EXISTING CONCRETE PAD, FUEL STORAGE TANKS AND LIDS, BOLLARDS, POLES AND FUEL PUMP, AND PREP FOR NEW BUILDING OR PAVEMENT. SEE DEMOLITION NOTE 13 REGARDING UNDERGROUND STORAGE TANKS.
- REMOVE EXISTING AIR COMPRESSOR, INCLUDING BASE AND WIRING.
- REMOVE EXISTING GRAVEL AND DISPOSE OF PER STATE, COUNTY OR LOCAL REQUIREMENTS.
- REMOVE EXISTING STORM TANK, INCLUDING BASE AND PIPING.
- REMOVE EXISTING STORM INLET AND PVC PIPES, AND PREP FOR NEW STORM PIPE CONNECTION.
- REMOVE EXISTING UNDERGROUND ELECTRIC OR TELEPHONE SERVICE LINES. COORDINATE WITH UTILITY COMPANIES.
- REMOVE EXISTING SANITARY MANHOLE OR CLEANOUT, AND ANY PIPING CONNECTED TO IT OR BUILDING. DETERMINE LOCATION OF EXISTING LATERAL IN RIGHT-OF-WAY (NOT FIELD VERIFIED) AND PLUG & CAP AT PROPERTY LINE, PER SANITARY AUTHORITY REQUIREMENTS.
- CUT, CAP AND REMOVE EXISTING WATER LINES. COORDINATE WITH WATER AUTHORITY.
- REMOVE EXISTING LOT LIGHT, INCLUDING BASE AND WIRING.
- REMOVE EXISTING WOOD FENCE, INCLUDING BASE AND POSTS.
- REMOVE EXISTING ASPHALT PAVEMENT.
- REMOVE EXISTING CONCRETE PAD, SIDEWALK OR CURB.
- REMOVE EXISTING ASPHALT WEDGE CURB.
- REMOVE EXISTING ACCESSIBLE SIGN, INCLUDING POST AND BASE.
- REMOVE EXISTING BOLLARD, INCLUDING BASE.
- EXISTING WATER VALVE TO REMAIN. PROTECT DURING CONSTRUCTION. RELOCATE VALVE FLUSH TO NEW PAVEMENT, IF NECESSARY.
- EXISTING BUILDING TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING UNDERGROUND UTILITY LINE TO REMAIN. PROTECT DURING CONSTRUCTION. CONFIRM LINES ARE ACTIVE. COORDINATE WITH UTILITY COMPANIES.
- EXISTING CONCRETE PAD AND CAP TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING UTILITY POLE AND GUY WIRE TO REMAIN. PROTECT DURING CONSTRUCTION. CONFIRM WITH ELECTRIC COMPANY.
- EXISTING MONITORING WELL TO REMAIN. PROTECT DURING CONSTRUCTION. REMOVE/REPLACE BACK TO LOCATION, IF NECESSARY.
- CUT & CAP EXISTING 1"6 WATER SERVICE LINE AT EXISTING WATER VALVE, PER SCMA REQUIREMENTS, AND PREP FOR WATER LINE RELOCATION. SEE SITE UTILITY PLAN (U1.0).
- SCHUYLKILL COUNTY MUNICIPAL AUTHORITY TO INSTALL NEW RELOCATED 2"6 WATER SERVICE LINE FROM EXISTING WATER VALVE TO THE TWO (2) EXISTING COMMERCIAL PROPERTIES SOUTH OF THE AUTOZONE SITE TO PROVIDE NEW WATER SERVICE. CONTRACTOR TO COORDINATE RELOCATION OF WATER SERVICE LINES, PRIOR TO ANY DEMOLITION ACTIVITIES. SEE SITE UTILITY PLAN (U1.0) FOR RELOCATED 2"6 WATER LINE.
- REMOVE EXISTING INLET. PREP FOR NEW INLET AND NEW STORM PIPE CONNECTION. PROTECT EXISTING CONNECTIONS TO REMAIN.
- EXISTING SANITARY MANHOLE TO REMAIN. PROTECT DURING CONSTRUCTION. PREP FOR NEW SANITARY LINE CONNECTION.

ST. CLAIR: 20202272148
EAST NORWEGIAN: 20202272149

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

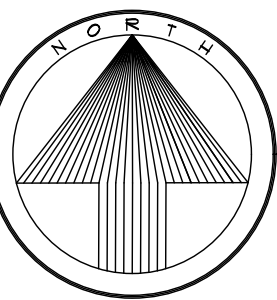
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

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Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
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PREPARED FOR:
AutoZone
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA

DEMOLITION PLAN

SCALE: 1" = 20'-0"

REVISIONS

- | | | |
|----|----------|-------------------------------|
| 1. | 11-30-21 | PER BOROUGH & COUNTY COMMENTS |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |

ARCHITECT: LE

DRAFTSMAN: CWT

CHECKED BY: CAD

DATE
6-25-2021

PROTOTYPE SIZE
7in-R



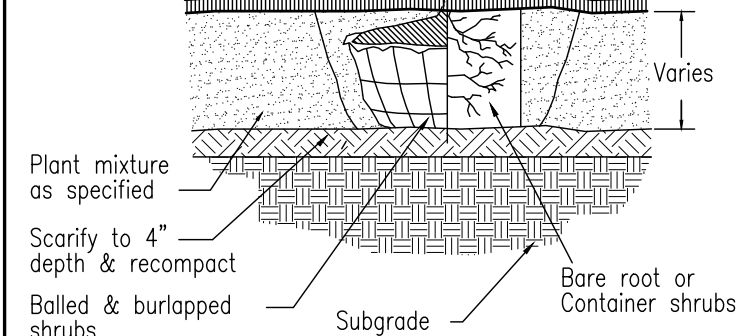
D1.0

SHEET 9 of 16

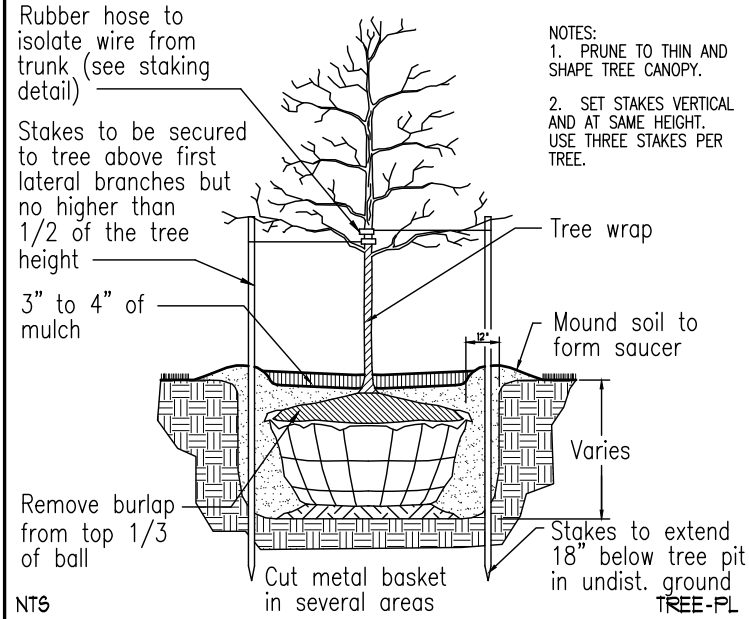


SITE LOCATION MAP
SCALE: 1"=2,000'

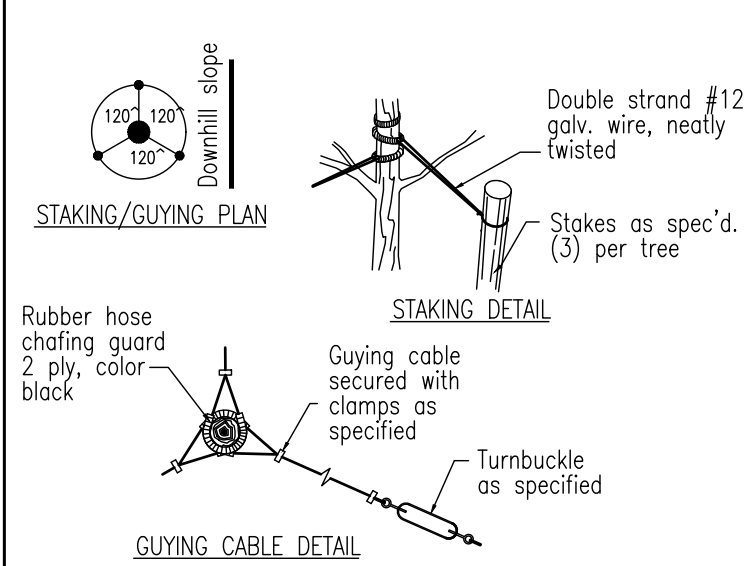
- NOTES:
- DO NOT PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BRICK BRANCHES.
 - THIN BRANCHES AND FOLIAGE UNTIL ALL BRANCH TIPS ON 1/3 REMAINING NORMAL PLANT SHAPE (EXCEPT EVERGREENS).
 - REMOVE BURLAP FROM TOP 1/3 OF BALL, OR WITH CONTAINER PLANTS, REMOVE POTS AND SHUT BALLS AS SPECIFIED.



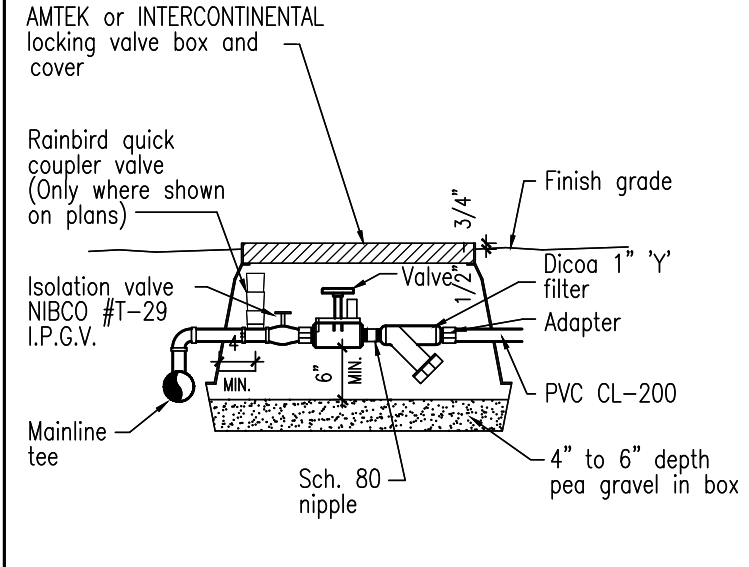
1 SHRUB PLANTING



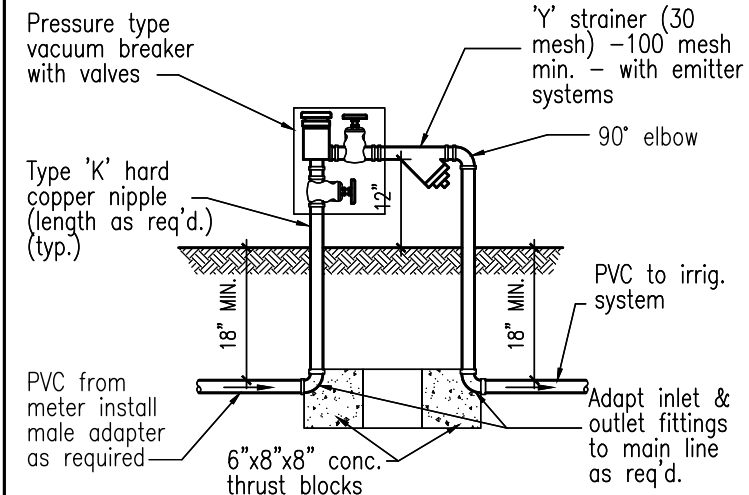
2 TREE PLANTING



3 TREE STAKING AND GUYING



4 VALVE, REGULATOR, & FILTER



NOTE: SHOP DRAWINGS TO BE SUBMITTED FOR 10-13 GA. EXPANDED STEEL DIAMOND MESH CASE WITH LOCKABLE LID AND MOUNTED IN CONCRETE FOOTINGS. MIN. CLEARANCE 3" TOP, 8" SIDES. CONTRACTOR SHALL PROVIDE & INSTALL PROTECTIVE CASE & PROVIDE SHOP DRAWINGS TO BE SUBMITTED FOR MUNICIPALITY APPROVAL.

5 PRESSURE TYPE VACUUM BRKR

LEGEND	
— 780 —	EXISTING CONTOUR
— 776 —	PROPOSED CONTOUR
— C —	EXISTING CABLE TELEVISION
— E —	EXISTING UNDERGROUND ELECTRIC
— OH —	EXISTING OVERHEAD ELECTRIC
— T —	EXISTING TELEPHONE LINE
— W —	EXISTING WATER LINE
— W —	NEW WATER SERVICE
— SS —	NEW SANITARY SEWER
— S —	NEW SANITARY SEWER CLEANOUT
— UE —	NEW UNDERGROUND ELECTRIC SERVICE
— UT —	NEW UNDERGROUND TELEPHONE SERVICE
— S —	NEW STORM SEWER

Bearing	Distance
N56°12'11"E	3.94
N174°42'15"E	153.34

BOROUGH OF ST. CLAIR
ZONED "A-1"

BOROUGH OF ST. CLAIR
ZONED "C-2"

PID 62-05-0038.000
N/F SKAD SOLUTIONS LLC
DBV 2528 PG 1452
51 ANN STREET
TOWNSHIP OF EAST NORWEGIAN
ZONED "C-3"
OWNER: SKAD SOLUTIONS, LLC
603 HAYCOCK VIEW DRIVE
PERKASIE, PA 18944

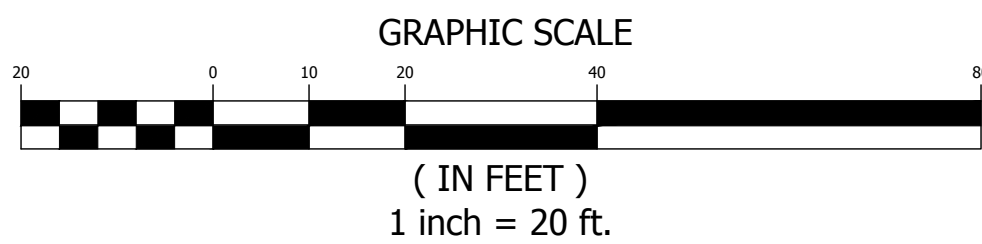
PID 08-02-001.001
N/F LOWE'S HOME CENTERS, INC
DBV 0093 PG 104
391 POTTSVILLE ST CLAIR HWY
TOWNSHIP OF EAST NORWEGIAN
ZONED "C-3"
OWNER: ROBERT SEITZINGER
LOWES HOME CENTERS, INC.
TAX DEPT.
1000 LOWES BOULEVARD
MOORESVILLE, NC 28117

AutoZone
BLDG. AREA = 1382 SF
PARKING SPACES = 31
FINISH FLOOR ELEV. = 119.30

PID 08-07-0014.000
N/F BERKSHIRE CONSTR CO INC
& GETTY REAL ESTATE CORP
DBV 1359 PG 0286
POTTSVILLE ST CLAIR HWY
TOWNSHIP OF EAST NORWEGIAN
ZONED "C-3"

OWNER: JOANN T. & THOMAS P. BRENNAN
56 N. SECOND STREET
ST. CLAIR, PA 17970

PID 08-07-0015.001
N/F JOANN BRENNAN & THOMAS P. BRENNAN
DBV 2507 PG 1460
435 POTTSVILLE-ST CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN
ZONED "C-3"



NOTE:
INFORMATION REGARDING CLEAR SIGHT
TRIANGLES AND STATIONS HAS BEEN
PROVIDED BY WOOSTER & ASSOCIATES.

GENERAL IRRIGATION NOTES

- CONTRACTOR TO PROVIDE DESIGN DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
- IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF TOWNSHIP SIDEWALKS AND/OR CURBS.
- INSTALL 1 1/2" Ø PVC PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT.
- IRRIGATION SYSTEM SUPPLY LINE TO COME FROM DOMESTIC SERVICE LINE, DOWNSTREAM OF METER.

LANDSCAPE REQUIREMENTS - SCHUYLKILL COUNTY

DESCRIPTION	REQUIRED	PROVIDED
ZONING § 804 (A) LANDSCAPING ANY PART OF A COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR APARTMENT LOT NOT USED FOR STRUCTURES, LOADING AREAS, PARKING SPACES, AISLES OR SIDEWALKS, SHALL BE PROVIDED WITH AN ALL-SEASON, WELL MAINTAINED VEGETATIVE GROUND COVER, AND SHALL BE LANDSCAPED WITH TREES AND SHRUBS.	YES	YES
ZONING § 804 (C)(1) PARKING LOT LANDSCAPING A MINIMUM OF ONE (1) DECIDUOUS TREE SHALL BE REQUIRED FOR EVERY TWENTY (20) NEW OFF-STREET PARKING SPACES. 37 ÷ 20 = 1.85 (2) TREES REQUIRED	2 TREES	2 TREES
ZONING § 804 (C)(2) IF A LOT WILL INCLUDE THIRTY (30) OR MORE NEW PARKING SPACES, LANDSCAPED ISLANDS SHALL BE PROVIDED WITHIN AUTO PARKING AREAS. OTHERWISE, THE TREES MAY BE PLANTED AROUND THE PARKING AREA.	YES	YES
ZONING § 804 (C)(5) THE TRUNK DIAMETER (MEASURED AT HEIGHT OF SIX (6) INCHES ABOVE THE FINISHED GRADE LEVEL) SHALL BE A MINIMUM OF TWO (2) INCHES OR GREATER.	YES	YES
ZONING § 603 (G) PAVED AREA SETBACKS ANY NEW OR EXPANDED VEHICLE PARKING STORAGE AREA SHALL BE SEPARATED FROM A PUBLIC STREET BY A PLANTING STRIP. THE PLANTING STRIP SHALL BE A MINIMUM WIDTH OF FIVE (5) FEET AND BE MAINTAINED IN GRASS OR OTHER ATTRACTIVE VEGETATIVE GROUND COVER. THIS FIVE (5) FEET WIDTH SHALL BE INCREASED TO TEN (10) FEET FOR A LOT INCLUDING 20 TO 99 PARKING SPACES.	10' PLANTING STRIP	10' PLANTING STRIP
ANN STREET: POTTSVILLE ST. CLAIR HIGHWAY: (MODIFICATION REQUESTED)	10' PLANTING STRIP	MIN. 2'-9"; MAX. 7'-7" PLANTING STRIP
SALDO § 1128.C.S.A-H STREET TREES STREET TREES SHALL BE PROVIDED IN ALL COMMERCIAL DEVELOPMENTS. TREES SHALL BE PLANTED BETWEEN THE STREET LINE AND THE BUILDING SETBACK LINE EXCEPT WHERE THE PLANNING COMMISSION HAS AUTHORIZED PLACEMENT OF TREES WITHIN THE STREET RIGHT-OF-WAY. A MINIMUM OF TWO (2) CANOPY TREES SHALL BE PROVIDED FOR EVERY ONE HUNDRED (100) FEET OF PUBLIC RIGHT-OF-WAY. STREET TREES SHALL BE PLACED A MINIMUM OF FORTY (40) FEET APART ALONG THE RIGHT-OF-WAY. TRUNK CALIPER SHALL BE A MINIMUM OF 2". 173 LINEAL FEET / 100 = 1.73 X 2 = 3.46 TREES REQUIRED	4 TREES	4 TREES

LANDSCAPE LEGEND

SOD SEE SPECIFICATIONS	DECIDUOUS TREE 'AR'	
MULCH SEE SPECIFICATIONS	DECIDUOUS TREE 'GT'	
QUANTITY → TYPE →	EVERGREEN SHRUB 'IG'	
	DECIDUOUS SHRUB 'VD'	

PLANT LIST

QTY.	KEY	BOTANICAL/COMMON NAME	MATURE SIZE	ROOT TYPE	REMARKS
4	AR	ACER RUBRUM AMERICAN RED MAPLE	2" CAL.	B & B	
2	GT	GLEDITSIA TRIACANTHOS THORNLESS HONEY LOCUST	2" CAL.	B & B	
24	IG	ILEX GLABRA 'NORDIC' INKBERRY	48" MIN. HGT.	B & B	
24	VD	VIBURNUM DATATUM ARROWOOD VIBURNUM	48" MIN. HGT.	B & B	

GENERAL NOTES

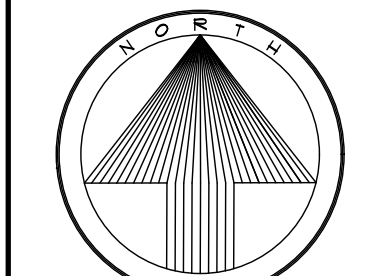
- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- ALL HEAVILY PLANTED AREAS TO RECEIVE AUTOMATIC PERMANENT IRRIGATION. CONTRACTOR TO PROVIDE DESIGN DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- GRASS & IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF LOCAL SIDEWALKS AND/OR CURBS.
- INSTALL 1 1/2" DIA. PVC PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT.
- FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN SCARIFY AREA, RESEED, AND FERTILIZE. R.O.W., CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
- FINISHED GRADES IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURB.
- PROVIDE A WEED MAT FOR ALL PLANTING AREAS.
- FOR ANY TREE LOCATED NEAR A DRIVEWAY, PRUNE LOWER BRANCHES TO PROVIDE A MINIMUM 10'-0" HIGH CLEAR SIGHT LINE FROM GRADE.
- FOR EXISTING VEGETATION TO BE REMOVED, SEE DEMOLITION PLAN (D1.0).

ST. CLAIR: 20202272148
EAST NORWEGIAN: 20202272149

CALL BEFORE YOU DIG!
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CONSTRUCTION PHASE AND 10 WORKING
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Store No.: 2800
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TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA
LANDSCAPE PLAN

SCALE: 1" = 20'-0"

REVISIONS

1.	11-30-21	PER BOROUGH & COUNTY COMMENTS
2.		
3.		
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5.		
6.		
7.		

ARCHITECT: LE
DRAFTSMAN: CWT
CHECKED BY: CAD

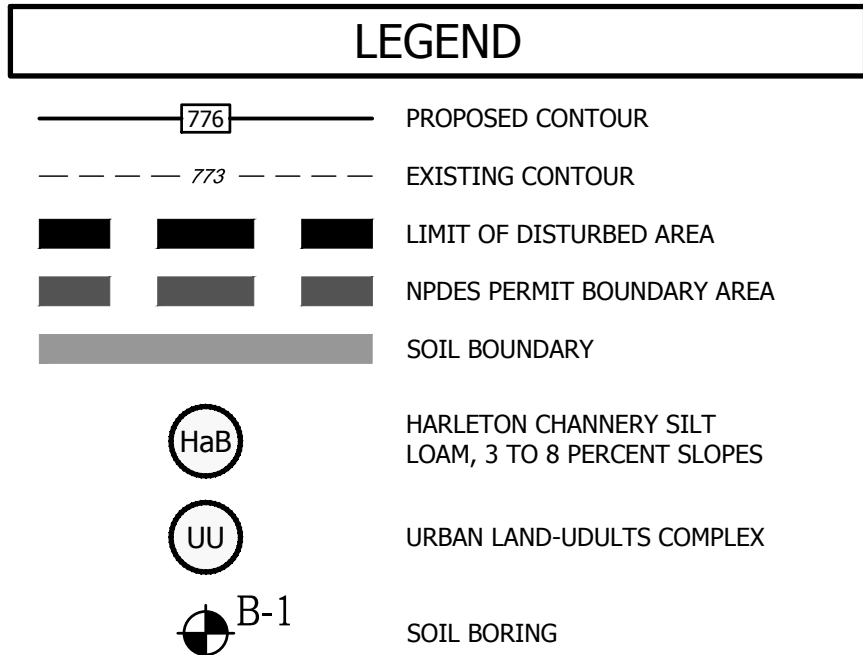
DATE
6-25-2021
PROTOTYPE SIZE
7in-R



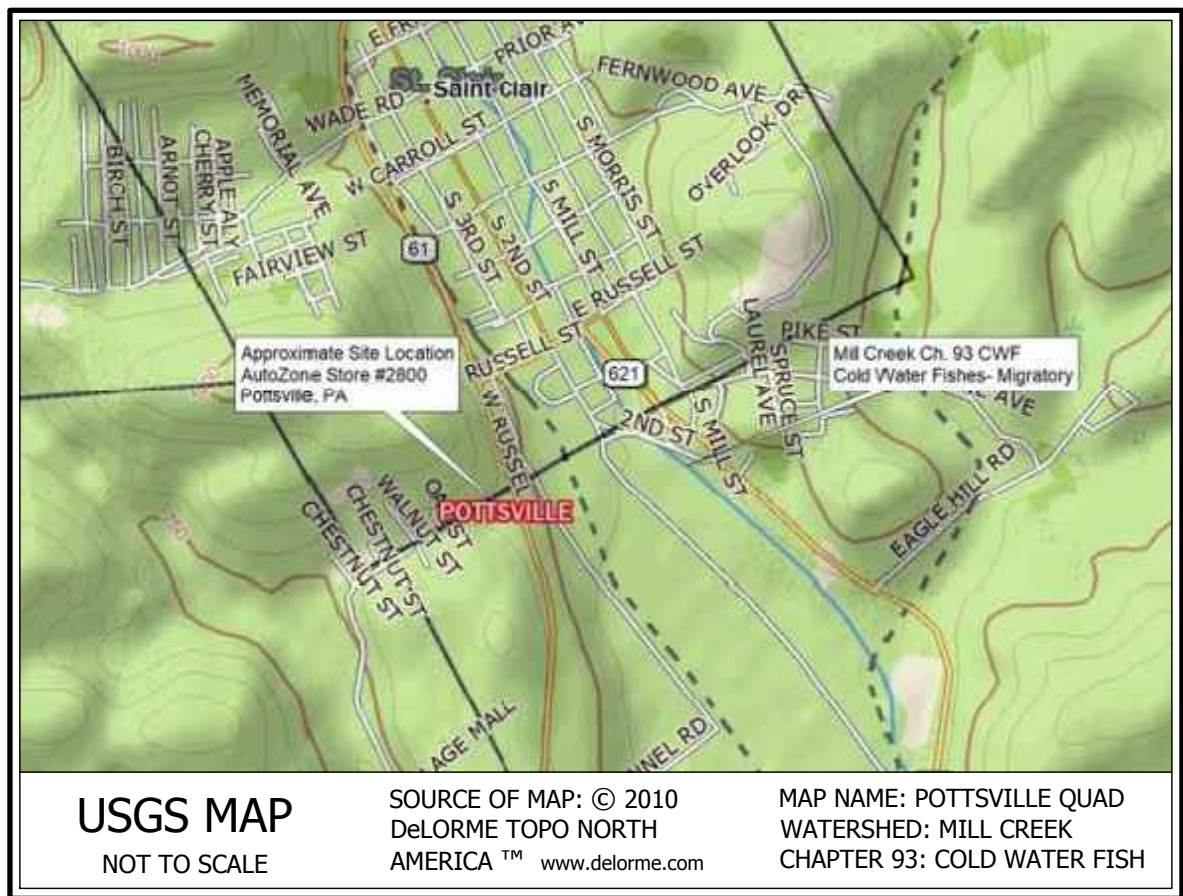
L1.0
SHEET 10 of 16



SITE LOCATION MAP
SCALE: 1"=2,000'



STORMWATER FACILITIES: OWNER: LEEMILTS PETROLEUM, INC. RESPONSIBLE PARTY: AUTOZONE DEVELOPMENT, LLC SEE STORMWATER FACILITY OPERATION AND MAINTENANCE PLAN ON THIS SHEET.	
WORK AREA EXISTING IMPERVIOUS AREA:	31,504 Sq.Ft.
PROPOSED IMPERVIOUS AREA:	26,597 Sq.Ft.
TOTAL PROPERTY AREA:	37,581 Sq.Ft.
	0.9 ACRES
LIMITS OF DISTURBANCE:	42,275 Sq.Ft.
	1.0 ACRES
NPDES PERMIT BOUNDARY:	45,690 Sq.Ft.
	1.0 ACRES

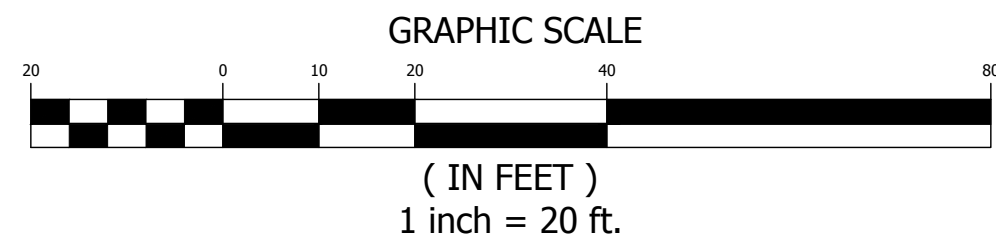


- NOTES:**
- ALL STORMWATER MANAGEMENT SYSTEMS ARE CONSIDERED A "CRITICAL STAGE" ELEMENT AND THE IMPLEMENTATION/CONSTRUCTION OF THE SYSTEM SHALL BE MONITORED BY A LICENSED PROFESSIONAL OR DESIGNER.
 - GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT (RECORD DRAWINGS), AS PREPARED BY A PA-LICENSED LAND SURVEYOR, OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE APPROVED STORMWATER MANAGEMENT PLAN. COST IS TO BE INCLUDED IN THE BID.
 - A PA-REGISTERED PROFESSIONAL ENGINEER IS TO PROVIDE A CERTIFICATE OF COMPLETION, VERIFYING THAT ALL PERMANENT STORMWATER FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
 - AS-BUILT (RECORD DRAWINGS), CERTIFICATE OF COMPLIANCE, AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE APPROVED DESIGN ARE TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW, APPROVAL, AND THE RELEASE OF POSTED FINANCIAL SECURITY (PERFORMANCE GUARANTEE).

STORMWATER MANAGEMENT SYSTEMS:
OWNER: LEEMILTS PETROLEUM, INC.
RESPONSIBLE PARTY: AUTOZONE DEVELOPMENT, LLC

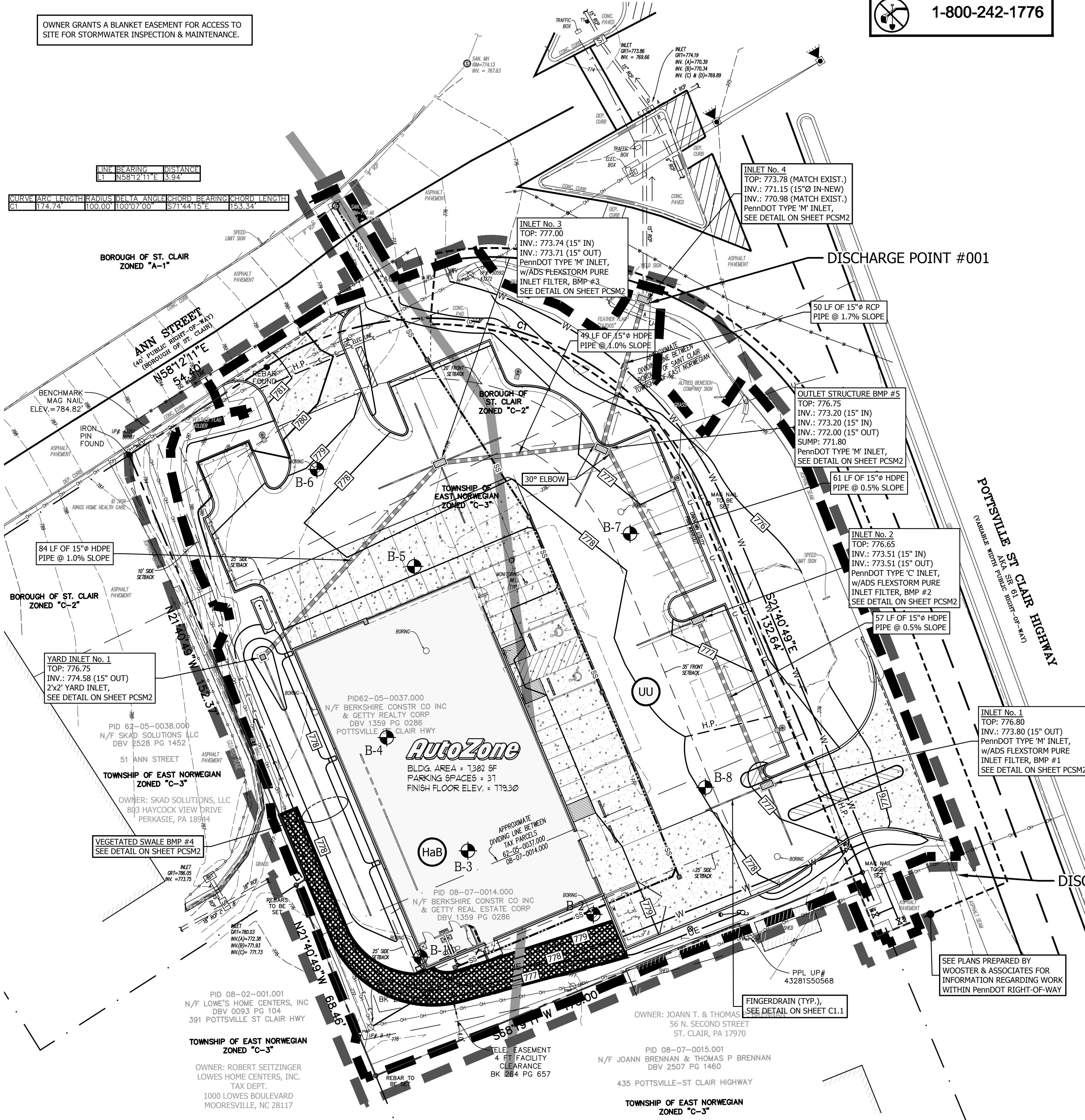
OWNER GRANTS A BLANKET EASEMENT FOR ACCESS TO SITE FOR STORMWATER INSPECTION & MAINTENANCE.

MAINTENANCE NOTE:
AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE MUNICIPALITY SHALL HAVE THE RIGHT OF ACCESS TO THE ON-SITE STORMWATER MANAGEMENT FACILITIES FOR THE RIGHT OF INSPECTION AND MAINTENANCE. IN THE EVENT THAT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN THE FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE MUNICIPALITY FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED TO THE MUNICIPALITY IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE, AND NO LIABILITY WILL BE ASSUMED BY THE MUNICIPALITY OR ITS REPRESENTATIVES ASSOCIATED WITH THE REQUIRED ACCESS FOR MAINTENANCE AND INSPECTION PURPOSES.



ST. CLAIR: 20202272148
EAST NORWEGIAN: 20202272149

CALL BEFORE YOU DIG !
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776



STORMWATER FACILITY OPERATION & MAINTENANCE PLAN

THIS STORMWATER FACILITY MAINTENANCE PLAN WAS DEVELOPED TO ENSURE CONTINUED OPERATION OF ALL STORMWATER MANAGEMENT FACILITIES. THE CORRECTIVE ACTIONS ARE NOT LIMITED TO THOSE OUTLINED BELOW.

RESPONSIBLE PARTY REFERS TO THE INDIVIDUAL/ENTITY ULTIMATELY RESPONSIBLE FOR THE STORMWATER FACILITIES CONDITIONS AND FUNCTIONS. FOR THE REFERENCED PROJECT, AUTOZONE DEVELOPMENT, LLC WILL BE CONSIDERED AS THE RESPONSIBLE PARTY FOR MAINTENANCE OF THE STORMWATER FACILITIES.

THE FOLLOWING IS A LIST OF ITEMS THAT SHALL BE INSPECTED AND CORRECTIVE ACTION TAKEN BY THE OWNER:

- STORM SEWERS, GUTTERS, SWALES, AND OTHER CONVEYANCE DEVICES.
- VEGETATED SWALE, INLETS AND OTHER STORMWATER CATCHMENTS AND/OR OUTLET STRUCTURES.
- ACCESSES FOR MAINTENANCE.
- REPLACE AND/OR REPAIR FACILITIES TO REMAIN FUNCTIONING AS INTENDED.
- REMOVE SILT TRASH AND OTHER DEBRIS IN THE INLETS, STORM SEWERS, STORMWATER MANAGEMENT OUTLET STRUCTURE AND ALL OTHER CONVEYANCE, CATCHMENTS AND OUTLET STRUCTURES.
- REPAIR AND/OR REPLACE THE INLETS, STORM SEWERS AND ALL OTHER CONVEYANCE, CATCHMENTS AND OUTLET STRUCTURES.
- DISPOSE SILT, DEBRIS AND TRASH IN A MANNER WHICH WILL NOT ADVERSELY AFFECT THE ENVIRONMENT.
- REPLACE ERODED MATERIAL AND REVEGETATE ERODED AREAS. SEED AND/OR MULCH DISTURBED AREAS.

SEMI-ANNUAL INSPECTIONS WILL BE CONDUCTED BY AT LEAST TWO (2) PEOPLE ON OR BEFORE MARCH 1 AND OCTOBER 1 EACH YEAR. ADDITIONAL INSPECTIONS WILL BE REQUIRED IF THE STORMWATER FACILITIES APPEAR TO MALFUNCTION OR DO NOT FUNCTION PROPERLY. COPIES OF ALL INSPECTION REPORTS SHALL BE FILED WITH THE MUNICIPALITY WITHIN FOURTEEN (14) CALENDAR DAYS AFTER SAID INSPECTIONS ARE PERFORMED. CORRECTIVE ACTIONS MUST BE UNDERTAKEN WITHIN THIRTY (30) DAYS OF DISCOVERING DEFICIENCIES. THESE CORRECTIVE ACTIONS ARE REQUIRED TO ENSURE CONTINUED OPERATION OF THE STORMWATER FACILITIES. ANY DEFICIENCIES NOTED IN THE ITEMS INSPECTED BY THE OWNER MUST BE DOCUMENTED AND THE APPROPRIATE CORRECTIVE ACTIONS UNDERTAKEN TO REMEDIATE THE DEFICIENCIES. ANY AND ALL CORRECTIVE ACTIONS TAKEN SHALL BE PROPERLY DOCUMENTED AND A REPORT ON SAID CORRECTIONS MADE SHALL BE FILED WITH THE MUNICIPALITY WITHIN FOURTEEN (14) CALENDAR DAYS OF THE COMPLETED CORRECTIVE ACTIONS INDICATING ACTIONS TAKEN AND THAT THE STORMWATER MANAGEMENT SYSTEM IS PROPERLY OPERATING IN ACCORDANCE WITH ITS ORIGINAL DESIGN INTENT. THIS STORMWATER FACILITY MAINTENANCE PLAN IS NOT A GUARANTEE FOR THE CONTINUED FUNCTIONING OF THE STORMWATER FACILITIES NOW OR IN THE FUTURE.

THE MUNICIPALITY MAY REQUIRE THAT OTHER ITEMS BE INCLUDED IN AN AGREEMENT. THESE ITEMS WILL BE DETERMINED TO BE NECESSARY TO GUARANTEE SATISFACTORY PERFORMANCE FOR THE STORMWATER FACILITIES. THE OWNER SHALL MAINTAIN ALL STORMWATER FACILITIES IN ACCORDANCE WITH THE APPROVED MAINTENANCE SCHEDULE AND SHALL KEEP ALL STORMWATER FACILITIES MAINTAINED IN A SAFE AND ATTRACTIVE MANNER. THE OWNER SHALL CONVEY TO THE MUNICIPALITY EASEMENTS AND/OR RIGHTS-OF-WAY TO ASSURE ACCESS FOR PERIODIC INSPECTIONS. THE OWNER SHALL KEEP ON FILE WITH THE MUNICIPALITY ALL INFORMATION MUST BE SUBMITTED TO THE MUNICIPALITY WITHIN FOURTEEN (14) CALENDAR DAYS OF THE CHANGE. THE OWNER SHALL ESTABLISH ANY SPECIAL MAINTENANCE FUNDS OR OTHER FINANCING RESOURCES IN ACCORDANCE WITH THE APPROVED MAINTENANCE PLAN. IF THE OWNER FAILS TO MAINTAIN THE STORMWATER FACILITIES, FOLLOWING DUE NOTICE (I.E. (1) 30 DAYS) BY THE LOCAL MUNICIPALITY TO CORRECT ANY DEFICIENCIES, THE MUNICIPALITY MAY PERFORM THE NECESSARY MAINTENANCE OR CORRECTIVE ACTION. THE OWNER MUST REIMBURSE THE MUNICIPALITY FOR ALL COSTS ASSOCIATED WITH THE REQUIRED MAINTENANCE AND/OR CORRECTIVE ACTION OF THE STORMWATER FACILITIES.

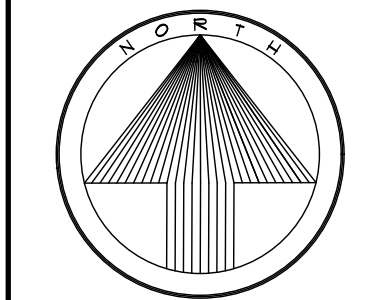
LAND OWNER:
LEEMILTS PETROLEUM, INC.
292 MADISON AVENUE, 9th FLOOR
NEW YORK, NY 10017-6318
(646) 349-0721
JASON OLSEN, SR. DIRECTOR REAL ESTATE

LESSEE/DEVELOPER:
AUTOZONE DEVELOPMENT, LLC
PROPERTY MANAGEMENT DEPT. 8700
123 SOUTH FRONT STREET
P.O. BOX 2198
MEMPHIS, TN 38103
(901) 495-7625
KEVIN MURPHY, PRE-CONSTRUCTION SPECIALIST

SURVEYOR:
VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
(610) 365-2907
GREGORY C. NOLL, PLS, PA LIC. No. SU075048

ENGINEER:
MDM SURVEYORS & ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
EUGENE S. DVORCHAK, PE, PA LIC. No. PE052940E

Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8969
Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



AutoZone
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

SCALE: 1" = 20'-0"

REVISIONS

1.	11-30-21	PER BOROUGH & COUNTY COMMENTS
2.		
3.		
4.		
5.		
6.		
7.		
ARCHITECT:	LE	
DRAFTSMAN:	CWT	
CHECKED BY:	CAD	
DATE	6-25-2021	
PROTOTYPE SIZE	7in-R	



PCSM1
SHEET 11 of 16



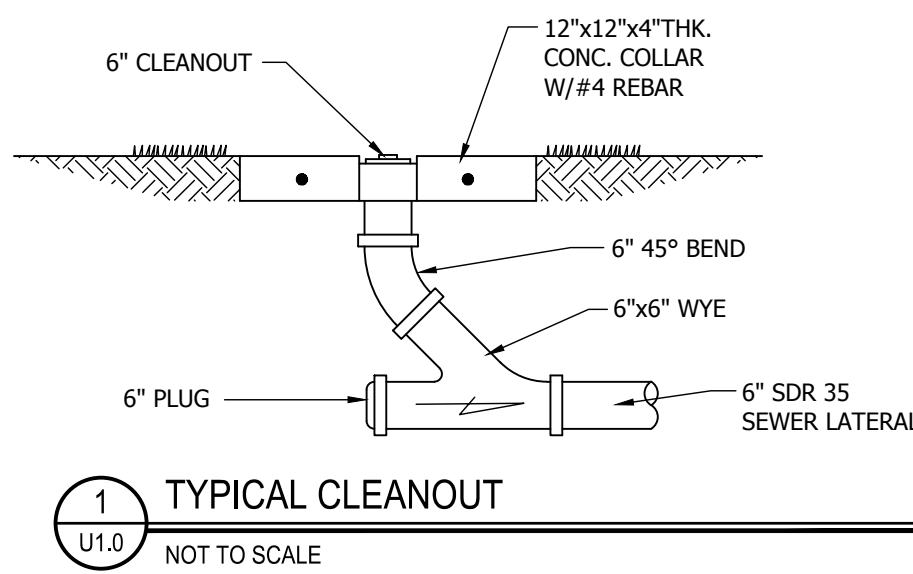
SITE LOCATION MAP
SCALE: 1"=2,000'

GENERAL UTILITY NOTES

- CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, TO COORDINATE REQUIREMENTS TO ENSURE TIMELY SERVICE INSTALLATION.
- PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE OWNER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- TEST PITS SHALL BE SHOWN AT ALL UTILITY CROSSINGS AND AT THE POINTS OF CONNECTION TO EXISTING WATER MAINS. AT LEAST 10 DAYS PRIOR TO CONSTRUCTION ACTIVITY THE CONTRACTOR MUST OBTAIN THE TEST PIT DATA AND COORDINATE WITH THE INSPECTOR. IF THE TEST RESULTS SHOW A POTENTIAL CONFLICT OR NON-COMPLIANCE WITH THE APPROVED PLAN, REVISIONS TO THE PLANS MUST BE SUBMITTED FOR APPROVAL. IN SUCH INSTANCES, NO WORK SHALL COMMENCE UNTIL CONFLICTS ARE RESOLVED AND REVISIONS APPROVED.
- RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATION TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- MANHOLE RIMS AND STORM INLETS SHALL BE SET TO ELEVATIONS SHOWN. ADJUST ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET DECKS, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL SANITARY SEWER PIPING SHALL BE POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS, ASTM D3034, TYPE PSN WITH A MAXIMUM SDR OF 35, WITH FLEXIBLE ELASTOMERIC SEAL JOINTS, ASTM D3212.
- ALL SANITARY SEWER PIPING SHALL HAVE A MINIMUM OF 6" OF COARSE AGGREGATE BEDDING.
- THE CONTRACTOR SHALL CONTACT THE LOCAL COUNTY HEALTH DEPARTMENT AND FILE AND OBTAIN A PLUMBING PERMIT FOR THE WORK INDICATED HEREON AND COMPLIANCE WITH THE LOCAL COUNTY PLUMBING CODE.
- OBTAIN REQUIRED SANITARY SEWER CONNECTION PERMIT AND PAY ALL CONNECTION AND TAPPING FEES BEFORE CONNECTING ANY NEW SEWER LINE TO THE AUTHORITY'S SEWER LINES (FEES TO BE PAID BY OWNER).
- WATER LINE AFTER WATER METER SHALL BE ENCASED IN 4" SCH. 40 PVC CONDUIT UNDER ALL CONCRETE OR ASPHALT SURFACES AND TO 1" ABOVE FINISHED FLOOR.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- COORDINATE INSTALLATION OF LOT LIGHTS, TREES, SIGNS, ETC., WITH PROPOSED UNDERGROUND UTILITIES. CONTACT OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

SYMBOLS

- | | | |
|---------------------------|------------------------|--------------------------------|
| ● MONUMENT FOUND | POWERPOLE | ⊙ SEWER MANHOLE |
| ○ MONUMENT SET | GUY WIRE | ○ CLEAN OUT |
| □ P.K. NAIL FOUND | LIGHT POLE | ⊙ STORM DRAIN MANHOLE |
| × FND X MARK | STREET LIGHT POLE | ⊙ CURB INLET |
| × SET X MARK | ELEC. TRANSFORMER | ⊙ PAY PHONE |
| ▲ R.R. SPIKE FOUND | AIR CONDITIONER | ⊙ TELEPHONE BOX |
| ▲ R.R. SPIKE SET | BURIED ELECTRIC | ⊙ TELEPHONE MANHOLE |
| ⊙ BENCHMARK | OVERHEAD ELECTRIC | ⊙ TELEPHONE POLE |
| (R) RECORD DATA | ELECTRIC METER | ⊙ TELEPHONE LINE |
| (M) MEASURED DATA | WATER LINE | ⊙ UNDERGROUND TELEPHONE MARKER |
| (S) SURVEYED DATA | WATER MANHOLE | ⊙ CABLE TELEVISION |
| R/W RIGHT OF WAY | WATER VALVE | ⊙ CABLE BOX |
| BSL BACK SET LINE | WATER METER | ⊙ UNDERGROUND CABLE MARKER |
| RCP REINFORCED CONC PIPE | HYDRANT | ⊙ TRAFFIC POLES |
| CMP CORRUGATED METAL PIPE | BACK FLOW PREVENTOR | ⊙ TRAFFIC SIGNAL |
| PVC PLASTIC PIPE | GAS VALVE | ⊙ TRAFFIC MANHOLE |
| MTL METAL | GAS METER | ⊙ TRAFFIC SIGNAL BOX |
| AGL ABOVE GROUND LEVEL | UNDERGROUND GAS MARKER | ⊙ STOP SIGN |
| L/S LANDSCAPING | GAS MANHOLE | ⊙ SIGN |
| ⊙ TREE | BOULARD | |
| MCO METAL TANK COVER | BORE HOLE | |
| | MONITORING WELL | |
| | MAIL BOX | |
| | UNKNOWN MANHOLE | |
| | SQUARE METAL LID | |
| | FUEL TANK LID | |
| | FLAG POLE | |



UTILITY LEGEND

- | | |
|----------------------------------|-----------------------------------|
| EXISTING UTILITY POLE | NEW UTILITY POLE |
| NEW GUY WIRE | NEW ELECTRIC METER |
| NEW WATER VALVE | NEW WATER SERVICE |
| NEW SANITARY SEWER | NEW SANITARY SEWER CLEANOUT |
| NEW UNDERGROUND ELECTRIC SERVICE | NEW UNDERGROUND TELEPHONE SERVICE |
| NEW STORM SEWER | |

- NOTES:
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING UTILITY SERVICE WITH EACH UTILITY COMPANY.
 - CONTRACTOR TO BE RESPONSIBLE FOR STREET BORE, IF REQUIRED BY LOCAL AUTHORITY.
 - AUTOZONE TO REIMBURSE GENERAL CONTRACTOR FOR ALL SANITARY SEWER, GAS, AND WATER TAP FEES.
 - ALL NEW UTILITIES ARE TO BE INSTALLED UNDERGROUND.

UTILITY CONTACTS

- | | |
|---------------------|--|
| ELECTRIC SERVICE - | PPL ELECTRIC UTILITIES
220 MOREA ROAD
FRACKVILLE, PA 17931
570-459-7368
CONTACT: MR. BRENDAN DOTY
W.O. #58539704 |
| GAS SERVICE - | NATURAL GAS IS NOT AVAILABLE TO THIS SITE. |
| SANITARY SEWER - | SAINT CLAIR SEWER AUTHORITY
16 SOUTH THIRD STREET
SAINT CLAIR, PA 17970
(570) 429-0640
CONTACT: MR. JOE COLLINS |
| | BENESCH ENGINEERING
400 ONE NORWEGIAN PLAZA
POTTSVILLE, PA 17901
570-624-4286
CONTACT: MR. CHRIS MCCOACH |
| STORM SEWER - | SCHUYLKILL COUNTY PLANNING OFFICE
401 NORTH SECOND STREET
POTTSVILLE, PA 17901
570-628-1038 |
| | PennDOT DISTRICT 5-0
1002 HAMILTON STREET
ALLENSTOWN, PA 18101
(610) 871-4167
CONTACT: MR. BRETT KLINGEL, DISTRICT PERMIT MANAGER |
| TELEPHONE SERVICE - | VERIZON
11 RIDGE ROAD
BLOOMSBURG, PA 17815
570-490-9301
CONTACT: MR. ROBERT JAWORSKI |
| WATER SERVICE - | SCHUYLKILL COUNTY MUNICIPAL AUTHORITY
221 SOUTH CENTER STREET
P.O. BOX 960
POTTSVILLE, PA 17901
570-728-4376
CONTACT: MR. KYLE MAHONEY, UTILITY MANAGER |

NOTE:
PLAN PREPARED UTILIZING DATA FROM SURVEY PREPARED BY GREGORY C. NOLL OF VALLEY LAND SERVICES, LLC, AT 4383 HECKTOWN ROAD, BETHLEHEM, PA 18020, DATED SEPTEMBER 8, 2020.

VERTICAL DATUM = NAVD 88, BENCHMARK MAG NAIL ELEVATION = 784.82.
HORIZONTAL DATUM = NAD 83, PA SOUTH ZONE 18N
DATA OBTAINED WITH TRIMBLE R8 GPS UNIT UTILIZING KEYNET VRS NETWORK.

SANITARY SERVICE

NEW 6" SDR 35 SANITARY LATERAL @ 0.75% SLOPE MIN. TIE TO EXISTING SANITARY MANHOLE @ INV.: 772.00. CONTRACTOR TO PROVIDE PAVEMENT SAW-CUT, TRENCHING, BACKFILL AND NEW PAVEMENT RESTORATION.

CONTRACTOR IS TO LOCATE EXISTING SANITARY LATERAL AND CUT & CAP AT SANITARY MAIN, PER SANITARY AUTHORITY REQUIREMENTS.

WATER SERVICE

CONTRACTOR TO INSTALL NEW RELOCATED 2" WATER LINE FROM EXISTING WATER VALVE TO THE TWO (2) EXISTING COMMERCIAL BUSINESSES SOUTH OF THE AUTOZONE SITE, REPLACING THEIR EXISTING WATER SERVICE LINES, PER SCMA REQUIREMENTS (INCLUDING 4' MINIMUM COVER).

INLET No. 1
TOP: 776.80
INV.: 773.80 (15" OUT)
PennDOT TYPE 'M' INLET,
W/ADS FLEXSTORM PURE
INLET FILTER, BMP #1
SEE DETAIL ON SHEET PCSM2

ELECTRIC SERVICE

APPROXIMATE LOCATION OF NEW UTILITY POLE, GUY WIRE, AND POLE MOUNTED TRANSFORMER, PER PPL ELECTRIC. CONFIRM WITH ELECTRIC COMPANY. BY PPL ELECTRIC TO PROVIDE ELECTRIC WIRE FROM NEW UTILITY POLE TO BUILDING, ELECTRIC METER AND METER MOUNT ON BUILDING.

WATER SERVICE

CONTRACTOR TO INSTALL 2" WATER LATERAL AND VALVE AT LEAST 18" INSIDE OF PROPERTY LINE, PER SCMA REQUIREMENTS. CAP LATERAL, PER SCMA REQUIREMENTS.

ELECTRIC SERVICE

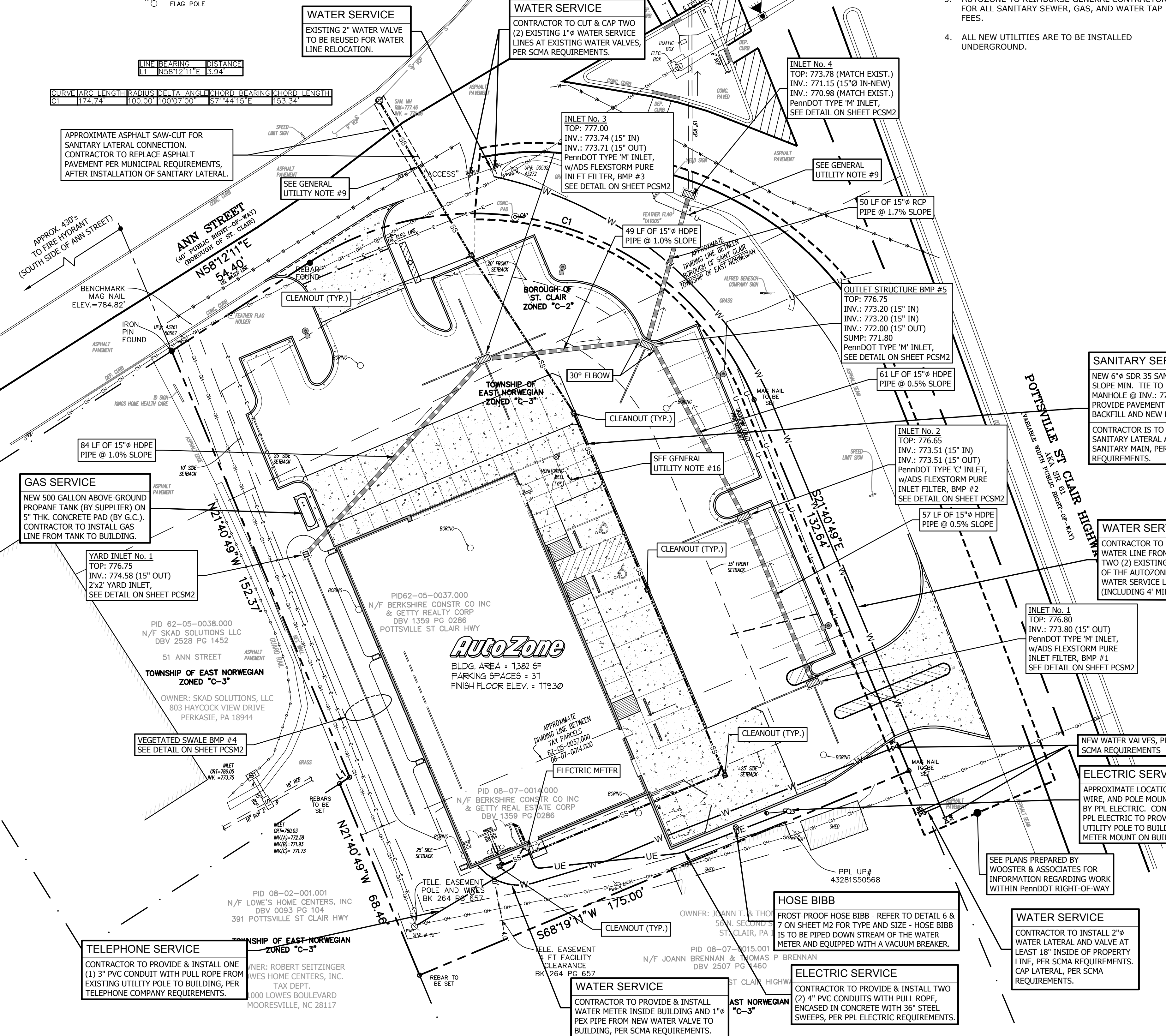
CONTRACTOR TO PROVIDE & INSTALL TWO (2) 4" PVC CONDUITS WITH PULL ROPE, ENCASED IN CONCRETE WITH 36" STEEL SWEEPS, PER PPL ELECTRIC REQUIREMENTS.

WATER SERVICE

CONTRACTOR TO PROVIDE & INSTALL WATER METER INSIDE BUILDING AND 1" PEX PIPE FROM NEW WATER VALVE TO BUILDING, PER SCMA REQUIREMENTS.

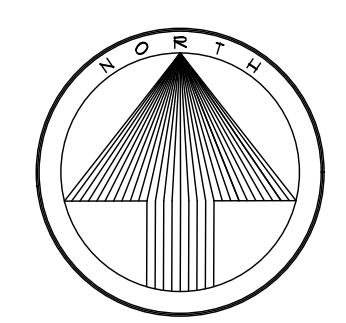
TELEPHONE SERVICE

CONTRACTOR TO PROVIDE & INSTALL ONE (1) 3" PVC CONDUIT WITH PULL ROPE FROM EXISTING UTILITY POLE TO BUILDING, PER TELEPHONE COMPANY REQUIREMENTS.



© COPYRIGHT 2023

Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA

SITE UTILITY PLAN

SCALE: 1" = 20'-0"

REVISIONS

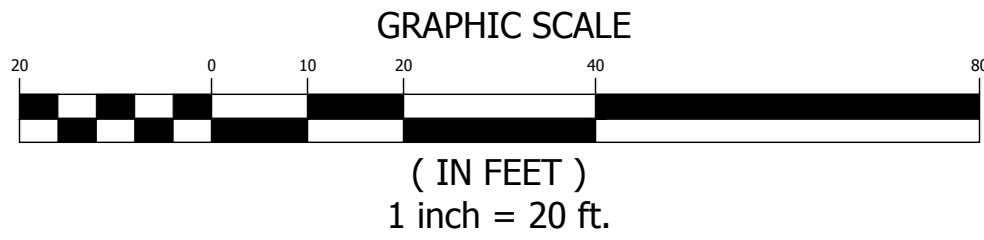
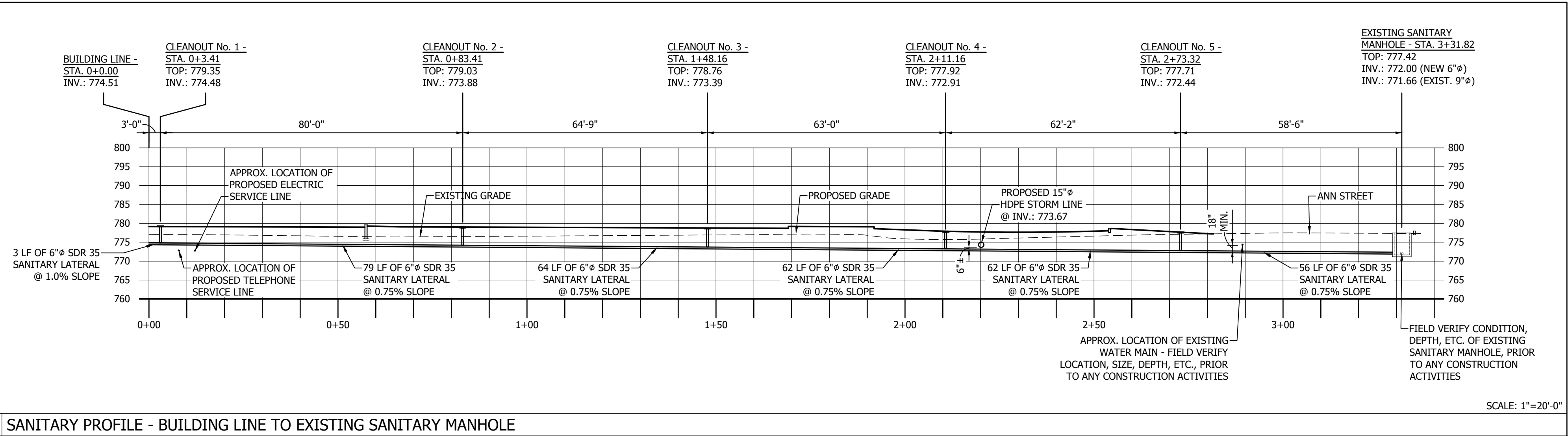
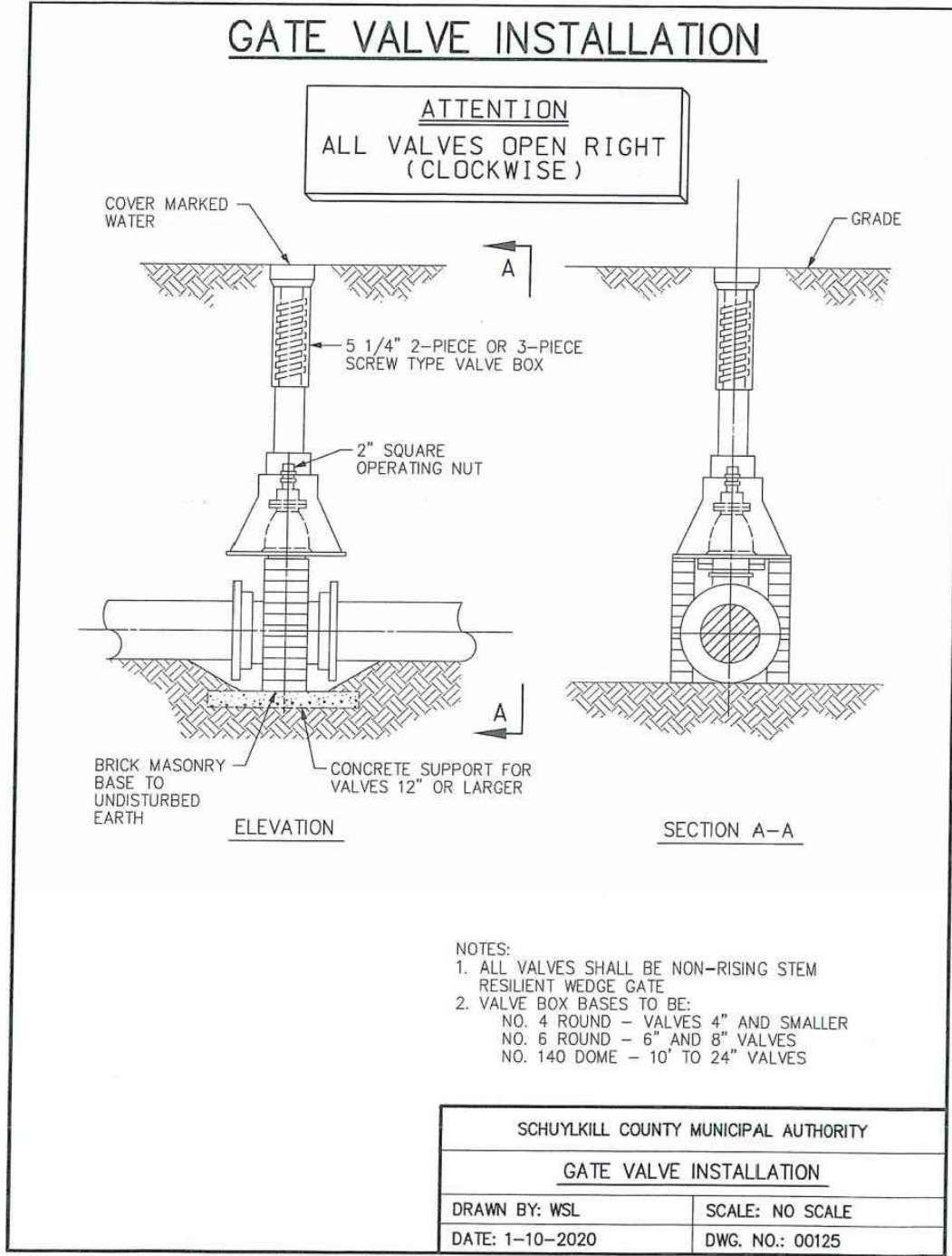
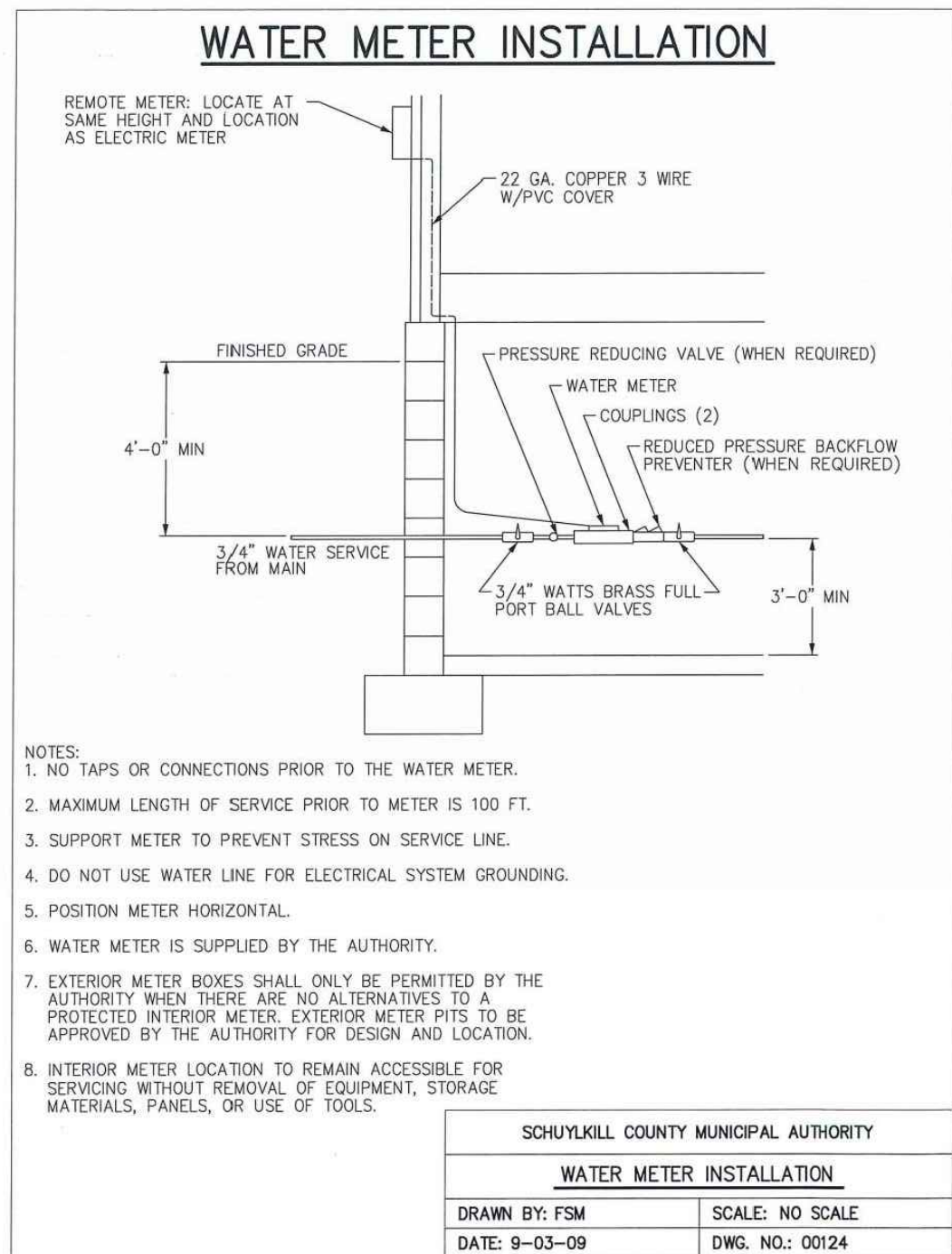
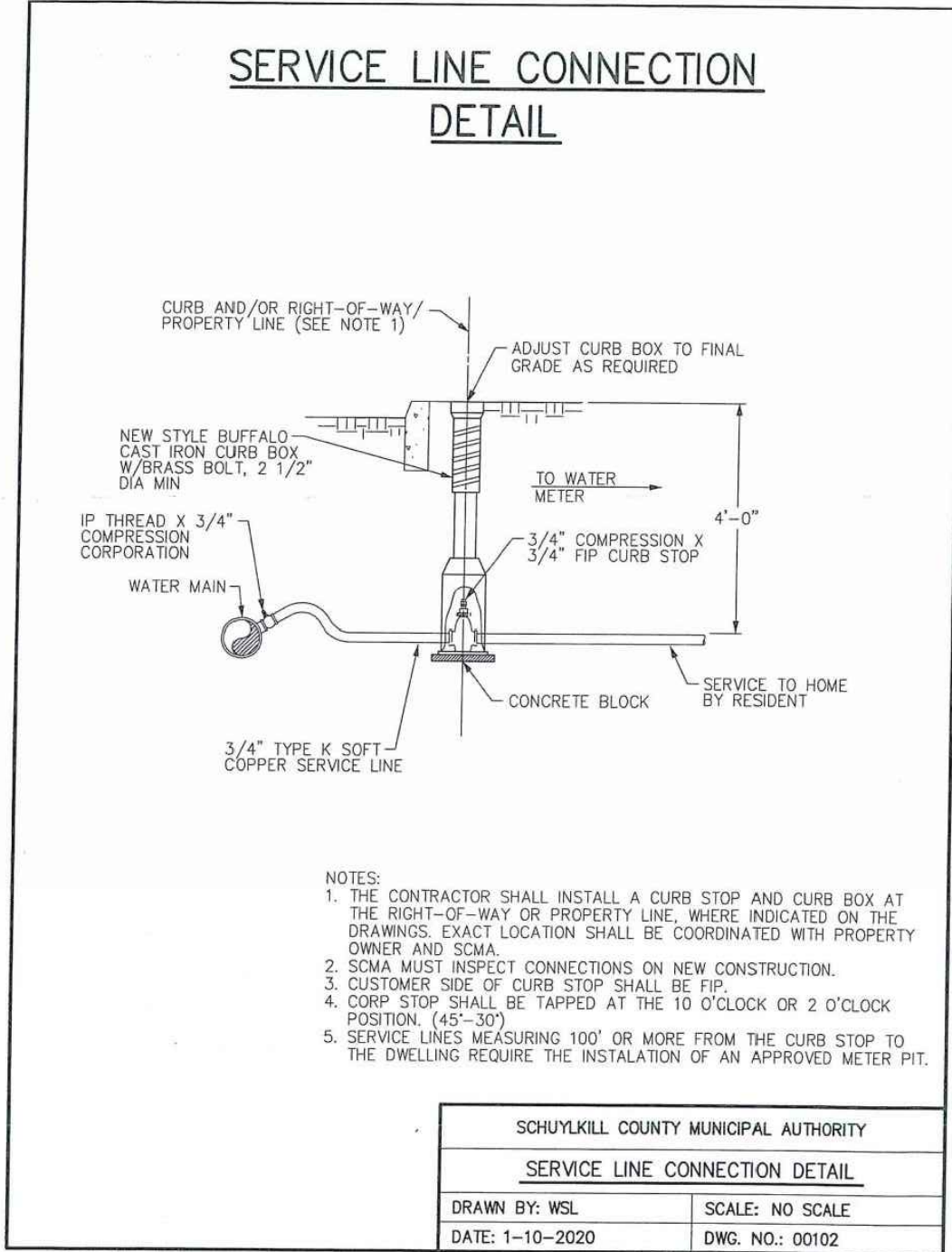
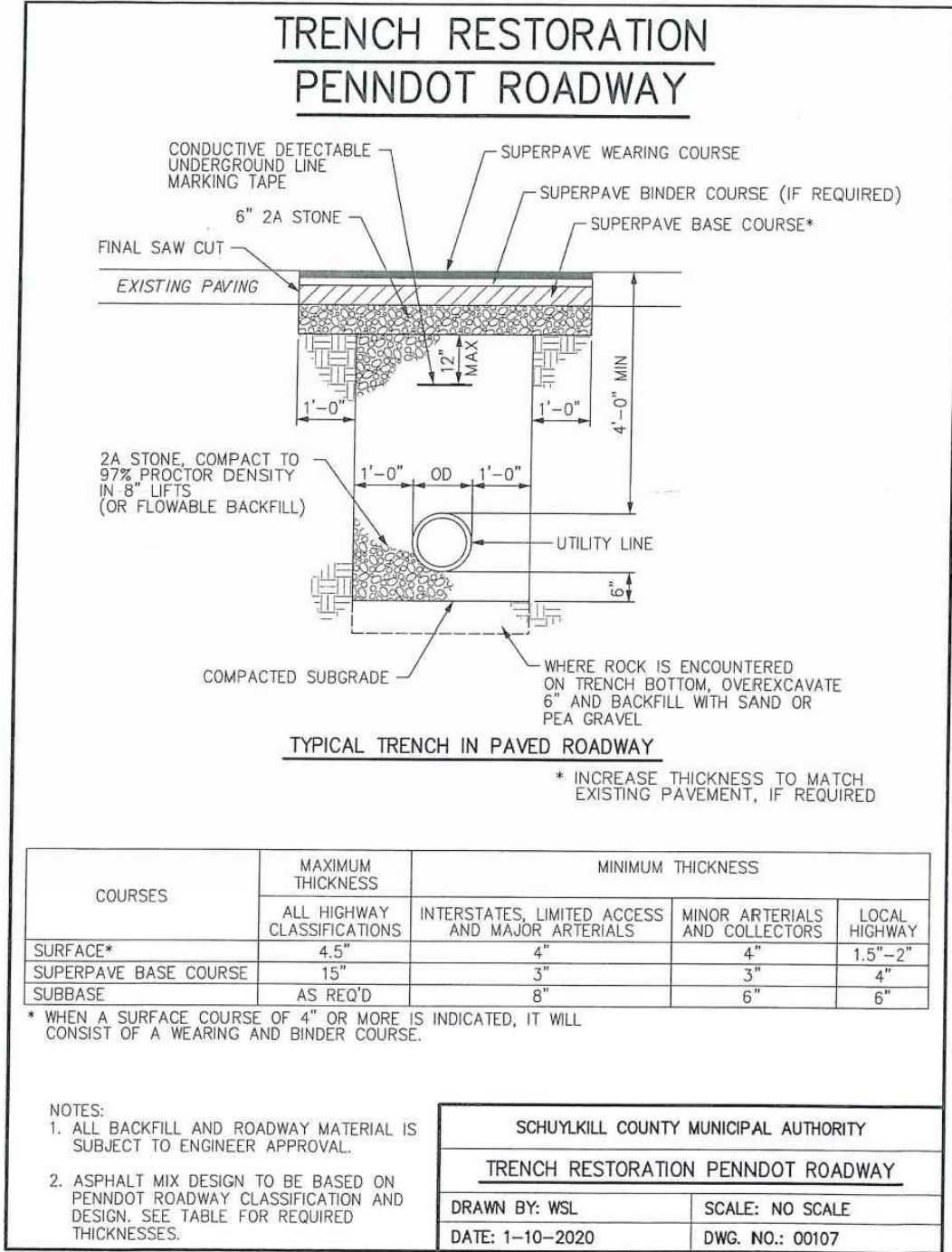
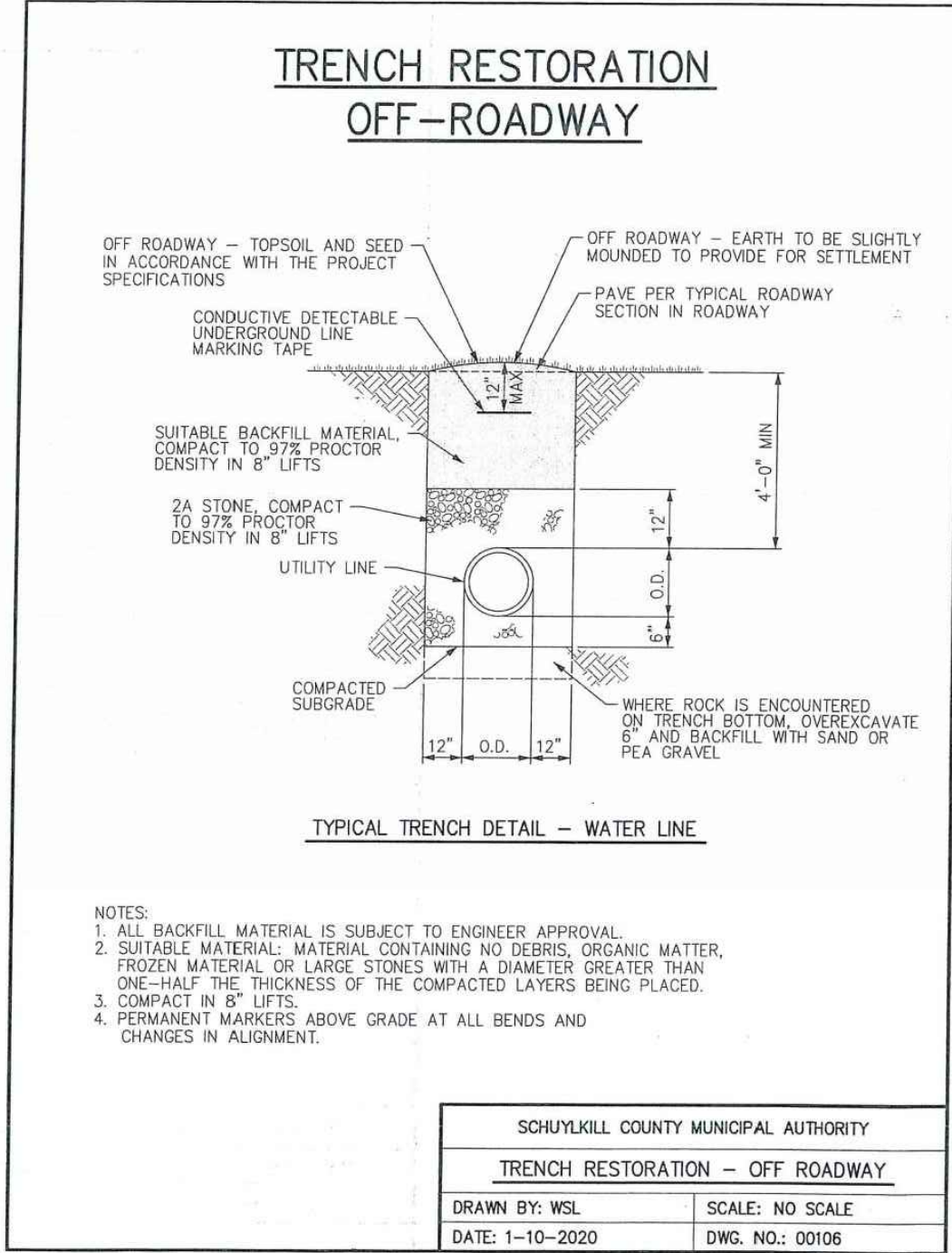
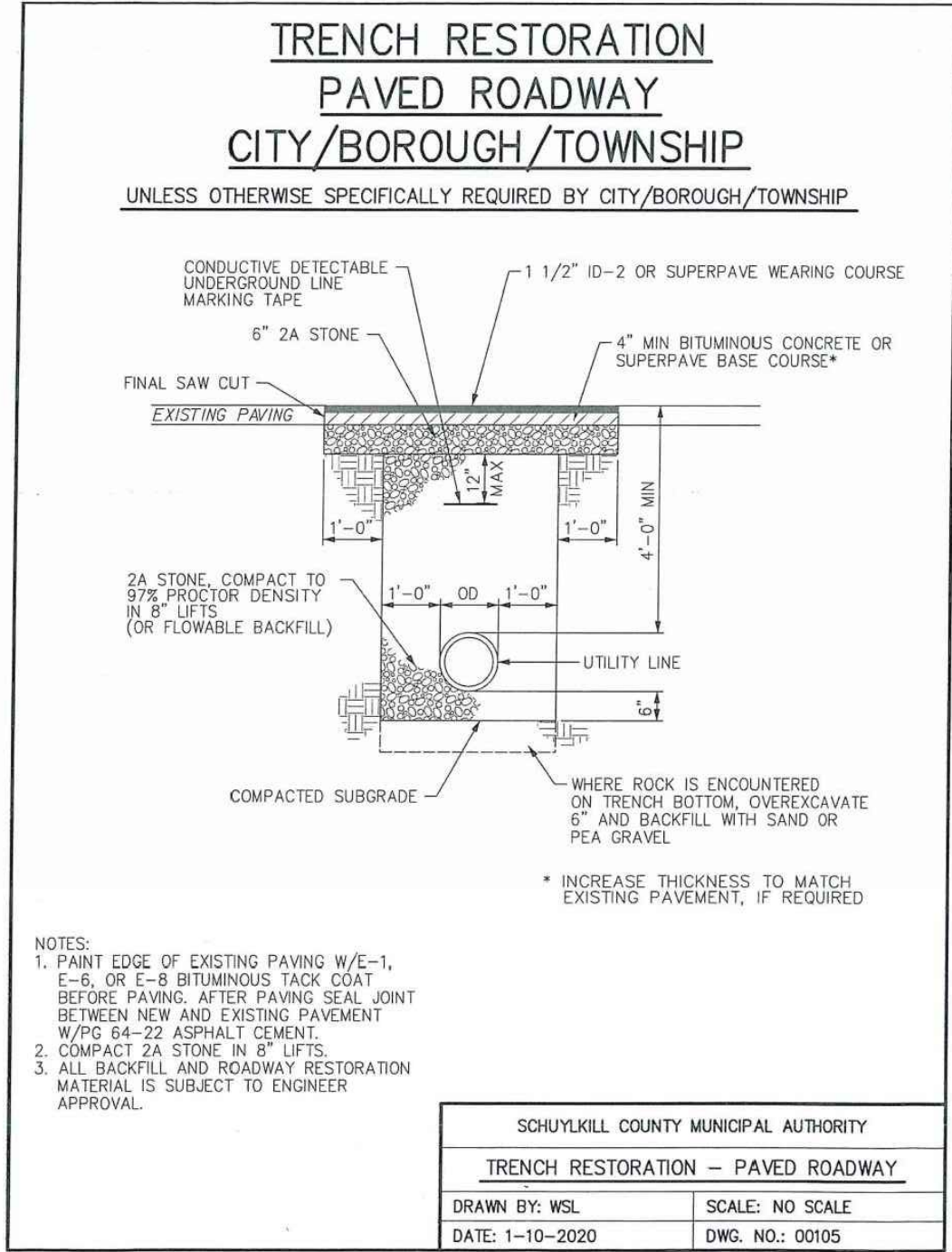
- | | | |
|----|----------|-------------------------------|
| 1. | 11-30-21 | PER BOROUGH & COUNTY COMMENTS |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |

ARCHITECT: LE
DRAFTSMAN: CWT
CHECKED BY: CAD

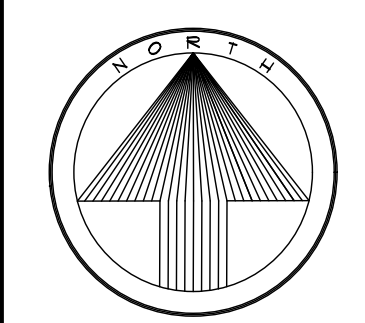
DATE
6-25-2021
PROTOTYPE SIZE
7in-R



U1.0
SHEET 15 of 16



Owner/Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 2800
489 POTTSVILLE ST. CLAIR HIGHWAY
TOWNSHIP OF EAST NORWEGIAN & BOROUGH OF ST. CLAIR
COUNTY OF SCHUYLKILL, COMMONWEALTH OF PENNSYLVANIA

SCALE: AS NOTED

REVISIONS

1.	11-30-21	PER BOROUGH & COUNTY COMMENTS
2.		
3.		
4.		
5.		
6.		
7.		

ARCHITECT: LE
DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 6-25-2021
PROTOTYPE SIZE: 7x2-R



U1.1
SHEET 16 of 16